

Wollongong Local Planning Panel Assessment Report | 7 May 2024

WLPP No.	Item No. 3
DA No.	DA-2023/173
Proposal	Residential - demolition works and tree removal. Construction of multi-dwelling housing – five (5) dwellings and Subdivision – Strata title
Property	148-150 Farmborough Road, FARMBOROUGH HEIGHTS NSW 2526 & Kotara Crescent, Unanderra
Applicant	House of Planning Pty Ltd
Responsible Team	Development Assessment & Certification Team - City Wide Team (BB)

ASSESSMENT REPORT AND RECOMMENDATION

Executive Summary

Reason for consideration by Local Planning Panel

The proposal has been referred to the Wollongong Local Planning Panel **for Advice** pursuant to Council's draft Wollongong Local Planning Panel submissions policy, as the application is the subject of eight (8) unique submissions by way of objection.

Proposal

- Demolition of the existing dwelling and outbuildings;
- Construction of five (5) townhouses and drainage infrastructure with Strata title subdivision.
- Tree removal and associated landscape works including retaining walls.

Permissibility

The site is zoned R2 Low-Density Residential pursuant to Wollongong Local Environmental Plan (WLEP) 2009. Multi-dwelling housing and as such ancillary structures are permissible with consent in the R2 zone. Demolition and tree removal are ancillary works to facilitate the proposal and as such are also permissible with consent.

Consultation

The proposal was exhibited in accordance with Council's Community Participation Plan. Eight (8) submissions were received during this period. The submissions received are discussed at section 1.5 of the report.

Additional information was submitted by the applicant to clarify certain matters at Council's request. The information received did not significantly change the design of the proposal to the extent that necessitated further exhibition.

Internal

Details of the proposal were referred to Council's Development Engineering, Landscape, Statutory Property and Environment officers for assessment with unsatisfactory referral advice provided by Council's development engineer and landscape officer.

Likely impacts

Due to variations to development control plans and other issues identified within the report, the proposal will likely result in adverse environmental impacts on the natural and built environments. Insufficient information has been provided to demonstrate that stormwater management, bushfire management, landscaping, traffic and amenity of the site and the surrounding locality will not be adversely impacted. Therefore, the development as proposed is considered inappropriate for the site.

Main Issues

- Storm water Design.

- Height of retaining walls.
- Perseveration and management of trees
- Absence of in principal agreement

Matters raised in relation to components of the proposal during the assessment of this application remain outstanding as outlined within the report.

Additional information was requested on 27 June 2023, to which the applicant responded, however, further information remains outstanding. A recommendation has been made on the basis of information submitted to date.

A meeting was held with the applicant, their engineering consultant, a representative from Land and Housing Corporation (LAHC), Council's development project officer and Councils' development engineer on 14 December 2023. The purpose of the meeting was to resolve storm water design elements with respect to achieving alignment with Council's Development Control Plan. The proposal in its current form is not supported by Council as it redirects the flow of catchment without a suitable discharge point.

Recommendation

The application be refused for the reasons outlined in this report.

1 APPLICATION OVERVIEW

1.1 PLANNING CONTROLS

The following planning controls apply to the development:

State Environmental Planning Policies:

- State Environmental Planning Policy (Resilience and Hazards) 2021
- State Environmental Planning Policy (Sustainable Buildings) 2022
- State Environmental Planning Policy (Biodiversity and Conservation) 2021

Local Environmental Planning Policies:

- Wollongong Local Environmental Plan (WLEP) 2009

Development Control Plans:

- Wollongong Development Control Plan 2009

Other policies

- Wollongong City-Wide Development Contributions Plan 2023
- Wollongong Community Participation Plan 2019
- Planning for Bushfire Protection 2019

1.2 DETAILED DESCRIPTION OF PROPOSAL

Demolition:

- Demolition of the existing dwelling and outbuildings.

Multi Dwelling Houses:

- Construction of five (5) dwellings containing:
 - Three (3) bedrooms
 - Open plan living, kitchen, dining, and rumpus room.
 - Master Suite incorporating walk in robe and ensuite.
 - Bathroom, powder room and laundry.
 - Double garages.

Landscape Works:

- On site landscaping and deep soil zones.
- Removal of eight (8) trees on site.

1.3 BACKGROUND

Development history is as follows;

- BA-1959/677 – Garage – Approved – 22-Apr-1959
- BA-1964/657 - Additions to Dwelling – Approved – 4-May-1964
- BA-1995/2121 – Vinyl Clad Additions to Dwelling – Approved – 14-Nov-1995

No pre-lodgement meeting was held.

Application History

The subject development application, DA-2023/173, was lodged on 1 March 2023 and notified from 28 March – 11 April 2023. A request for additional information was issued on 27 June 2023. The letter highlighted development assessment planning, storm water, landscape, and parking/traffic matters to be addressed in order to progress assessment of the application.

The applicant provided amended plans on 7 July 2023, 26 October 2023, 9 November 2023, and 21 November 2023. A meeting then followed on 14 December 2023 to discuss a storm water design solution. The applicant was advised that the current design solution was not supported by council on 19 December 2023.

Following receipt of internal responses to the additional information submitted by the applicant on 7/7/2023, 26/10/2023, 9/11/2023 and 21/11/2023 from council's storm water and landscape officers, the applicant was sent a request to withdraw the application. The letter of 25/1/2024 highlighted outstanding matters that would need to be addressed in any future application. The applicant responded via phone indicating that the application would not be withdrawn as they wished to exercise their appeal rights.

1.4 SITE DESCRIPTION

The site is located at 148-150 Farmborough Road, FARMBOROUGH HEIGHTS NSW 2526 (lot 67 DP 19224) and Kotara Crescent, UNANDERRA (Lot 188 DP 260629). The site is located on the Northern side of Farmborough Road and has an area of approximately 1,642.8m². The site is regular shaped and currently contains an existing dwelling. The surrounding context is low-density residential, with a mixture of single, double storey, and split-level dwelling houses prominent in the area.

Property constraints;

Council records identify the land as being impacted by the following constraints:

- Bushfire.
- Adjoining lot mapped Natural Resource Activity – Biodiversity.

There are no restrictions on the Title.



Figure 2: Aerial photographs

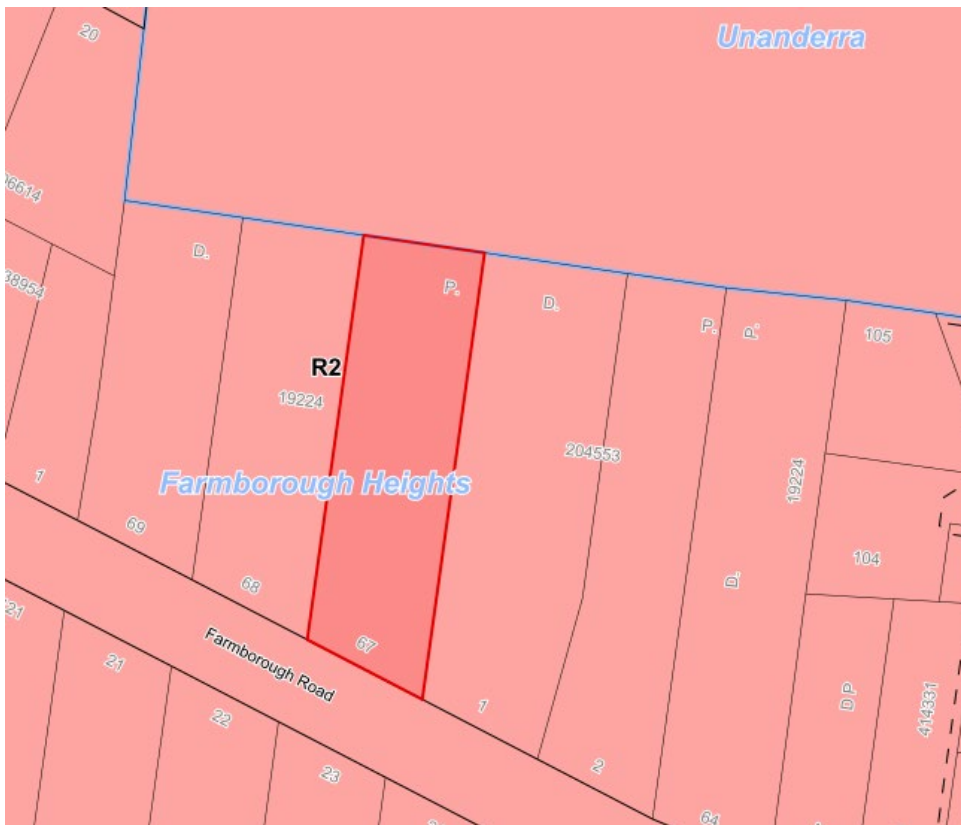


Figure 3: WLEP 2009 zoning map

1.5 SUBMISSIONS

The application was exhibited in accordance with Wollongong Community Participation Plan 2019. Eight (8) unique submissions were received.

Amended plans and additional information was submitted by the applicant that sought to address Council's concerns. Changes were made to the proposal in terms of driveway widths and a long section was provided that demonstrates compliance with relevant Australian standards. This information did not require re-exhibition as the design aspects of the proposal did not fundamentally change.

The issues identified are discussed below.

Table 1: Submissions

Concern	Comment
1. Stormwater Design	Given the slope of the site, concern was raised in relation to storm water run-off and extensive hard stand paving required for the driveway. Council is not satisfied with the proposed stormwater design as the design does not have a suitable discharge point and indicates the redirection of catchment.
2. Traffic/Safety/Parking	Concerns were raised over the location of the driveway and vehicles leaving and entering the site. Council's development engineer has assessed the proposal with respect to traffic matters and is not satisfied with traffic and parking impacts.
3. Waste Management	Council is satisfied that ongoing waste measures could be addressed through standard conditions of consent.
4. Bushfire Management	The application was referred to the NSW RFS as the lands intended use is for rural and residential purposes. Concurrence has not been obtained from the NSW RFS and the NSW RFS do not support the proposal.
5. Privacy	Council has concern over the height of the proposed driveway/retaining walls. This results in significant height differences to adjoining properties which would likely impact neighbour privacy
6. View Loss	Concerns have been raised surrounding view loss to the west of the development in the direction of the Illawarra escarpment. Given the slope of the site, council is satisfied that view loss would be minimal.
7. Built form	Concerns have been raised about the built form, particularly the slope of the block and the use of retaining walls. Council does not support the height of the retaining walls..
8. Services	Standard conditions of consent could be imposed requiring consultation with utility service providers prior to construction, should the application be approved.

Table 2: Number of concerns raised in submissions.

Concern:	1	2	3	4	5	6	7	8
Frequency:	1	6	3	1	2	1	6	3

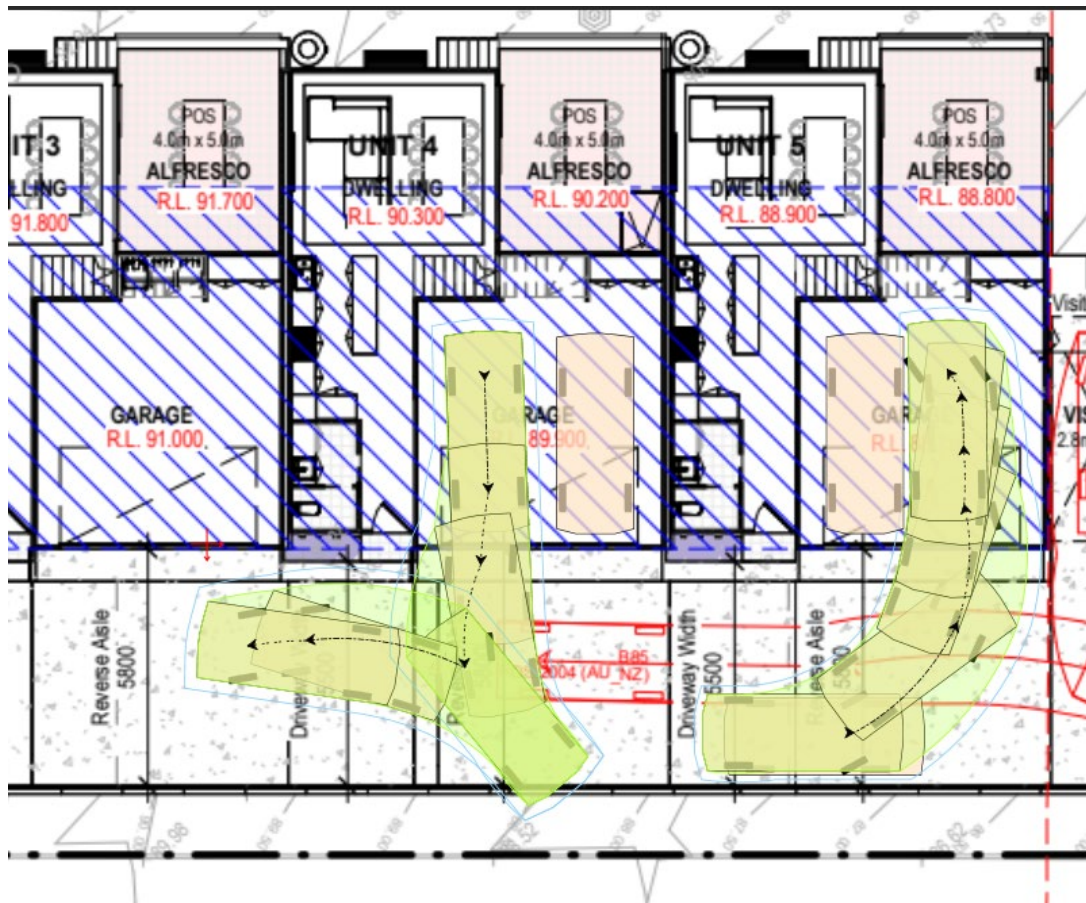
1.6 CONSULTATION

1.6.1 INTERNAL CONSULTATION

Development Engineering

Council's Development Engineer has reviewed the proposal in terms of Traffic, Stormwater and Parking and does not support the proposal in its current form, in particular;

- Retaining walls are excessive in height.
- The parking aisle adjacent to the garage and visitor space is required to be widened that complies with figure 5.4 of ASA2890.1. Obstructions in the parking aisle and narrow door jambs result in the B85 design vehicle hitting walls or porches in the turning manoeuvres as per below;



- The application fails to comply with section 9.3 Disposal of Stormwater from Development Sites Chapter E14 of Wollongong Development Control Plan 2009 as the development site does not have a suitable discharge point.
- Documentary evidence is required to be provided which confirms the downstream property owner agrees to the provision of a drainage easement through their property.

- Proposed easement connection – the proposal does not consider the effect on adjoining properties, cumulative impacts, pre and post development. The existing outlet may be problematic, the current proposal does not consider cumulative impacts of the system.

Landscape

Council's Landscape Officer has reviewed the proposal and does not support the proposal in its current form, in particular;

- Trees on neighbouring properties are impacted on as a result of the proposed development. No consent to remove these have been provided, including those trees impacted by the proposed drainage infrastructure.
- Retaining walls do not comply with objectives or controls in WDCP 2009 section 4,17 – exceeding 3 metres in height.
- Separation between driveway and dwellings are not satisfactory.
- Existing trees are not accurately shown on all documentation provided with the DA submission.
- The submitted arborists impact assessment (AIA) does not meet the minimum standards and has been completed by an arborist who does not have the required qualifications.

Statutory Property

Council's property officer raised no concerns.

Environment

Council's Environmental Officer reviewed the proposal with respect to land contamination, waste, demolition and soil erosion and sediment control. Relevant conditions were provided should the application be approved.

1.6.2 EXTERNAL CONSULTATION

The application was referred to NSW RFS under sec 100B of the Rural Fires Act on 16 February 2023. The New South Wales Rural Fire Service (NSW RFS) considered the information submitted and requested additional information on 8 June 2023. The applicant provided an amended bushfire report on 27 June 2023 and a re-referral was undertaken on 26 October 2023. The new information was not supported in a letter dated 8/3/2024 by the NSW RFS and General Terms of Approval, under Division 4.8 of the *Environmental Planning and Assessment Act 1979*, and Bush Fire Safety Authority, under section 100B of the *Rural Fires Act 1997*, have not been issued. The NSW RFS notes that;

- The additional information provided does not demonstrate that the proposed development can meet the Aims and Objectives of Planning for Bush Fire Protection (2019), specifically:
 - To afford buildings and their occupants protection from exposure to bushfire, and
 - To provide appropriate separation between a hazard and a building which, in combination with other measures, prevent the likely fire spread to buildings.

2 ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 – 4.15 EVALUATION

1.7 Application of Part 7 of Biodiversity Conservation Act 2016 and Part 7A of Fisheries Management Act 1994

This Act has effect subject to the provisions of Part 7 of the Biodiversity Conservation Act 2016 and Part 7A of the Fisheries Management Act 1994 that relate to the operation of this Act in connection with the terrestrial and aquatic environment.

NSW BIODIVERSITY CONSERVATION ACT 2016

Section 1.7 of the Environmental Planning and Assessment Act 1979 (EP&A Act) provides that Act has effect subject to the provisions of Part 7 of the Biodiversity Conservation Act 2016 (BC Act).

Part 7 of the BC Act relates to Biodiversity assessment and approvals under the EP&A Act where it contains additional requirements with respect to assessments, consents, and approvals under this Act.

Clause 7.2 of the Biodiversity Conservation Regulation 2017 provides the minimum lot size and area threshold criteria for when the clearing of native vegetation triggers entry of a proposed development into the NSW Biodiversity offsets scheme. For the subject site, entry into the offset scheme would be triggered by clearing of an area greater than 0.25 hectares based upon the minimum lot size of the WLEP 2009 R2 zoned land (i.e. less than 1 hectare minimum lot size).

The approximate area of vegetation required to be cleared for the construction of associated drainage infrastructure is currently unknown. Council can therefore not be satisfied that the development will not result in adverse impacts on biodiversity and is consistent with the provisions of the Biodiversity Conservation Act 2016.

2.1 SECTION 4.15(1)(A)(1) ANY ENVIRONMENTAL PLANNING INSTRUMENT

2.1.1 STATE ENVIRONMENTAL PLANNING POLICY (RESILIENCE AND HAZARDS) 2021

Chapter 4 Remediation of land

4.6 Contamination and remediation to be considered in determining development application.

- (1) *A consent authority must not consent to the carrying out of any development on land unless—*
- (a) *it has considered whether the land is contaminated, and*
 - (b) *if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and*
 - (c) *if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.*
- (2) *Before determining an application for consent to carry out development that would involve a change of use on any of the land specified in subsection (4), the consent authority must consider a report specifying the findings of a preliminary investigation of the land concerned carried out in accordance with the contaminated land planning guidelines.*
- (3) *The applicant for development consent must carry out the investigation required by subsection (2) and must provide a report on it to the consent authority. The consent authority may require the applicant to carry out, and provide a report on, a detailed investigation (as referred to in the contaminated land planning guidelines) if it considers that the findings of the preliminary investigation warrant such an investigation.*
- (4) *The land concerned is—*
- (a) *land that is within an investigation area,*
 - (b) *land on which development for a purpose referred to in Table 1 to the contaminated land planning guidelines is being, or is known to have been, carried out,*
 - (c) *to the extent to which it is proposed to carry out development on it for residential, educational, recreational, or childcare purposes, or for the purposes of a hospital—and—*
 - (i) *in relation to which there is no knowledge (or incomplete knowledge) as to whether development for a purpose referred to in Table 1 to the contaminated land planning guidelines has been carried out, and*
 - (ii) *on which it would have been lawful to carry out such development during any period in respect of which there is no knowledge (or incomplete knowledge).*

Council records do not indicate any historic use that would contribute to the potential contamination of the site and the land is not identified as being contaminated on Council's land mapping system. The

proposal does not comprise a change of use. Councils' Environment officer has reviewed the proposal and no concerns are raised regarding contamination in relation to the intended use of the land such that the consent authority can be satisfied the requirements of clause 4.6 have been satisfied. Under the precautionary principle, an unexpected finds protocol condition could be included if the application was otherwise approved.

The site is therefore considered suitable for the proposed development and consistent with the assessment considerations of State Environmental Planning Policy (Resilience and Hazards) 2021.

2.1.2 STATE ENVIRONMENTAL PLANNING POLICY (SUSTAINABLE BUILDINGS) 2022

The proposal is BASIX affected development to which this policy applies. In accordance with Part 3 Division 1 Section 27 of the Environmental Planning and Assessment Regulation 2021, a BASIX Certificate has been submitted in support of the application demonstrating that the proposed scheme achieves the BASIX targets.

A BASIX certificate accompanies the application submission and was issued no earlier than 3 months before the date on which the development application was lodged.

2.1.3 STATE ENVIRONMENTAL PLANNING POLICY (BIODIVERSITY AND CONSERVATION) 2021

Chapter 4 Koala habitat protection 2021

The State Environmental Planning Policy (Biodiversity and conservation) 2021 applies to the Wollongong Local Government Area, identified as being in the South Coast koala management area.

4.9 Development assessment process—no approved koala plan of management for land

There is no approved koala plan of management applying to the land, and the land does not have an area of at least 1 hectare (including adjoining land within the same ownership). As such, Clause 4.9 does not apply to the land.

2.1.4 WOLLONGONG LOCAL ENVIRONMENTAL PLAN 2009

Clause 1.4 Definitions

Demolition: In relation to a building means wholly or partly destroy, dismantle, or deface the building.

Multi-Dwelling Housing means 3 or more dwellings (whether attached or detached) on one lot of land, each with access at ground level, but does not include a residential flat building.

Part 2 Permitted or prohibited development

Clause 2.2 – zoning of land to which Plan applies

The zoning map identifies the land as being zoned R2 Low Density Residential.

Clause 2.3 – Zone objectives and land use table

The objectives of the zone are as follows:

- *To provide for the housing needs of the community within a low-density residential environment*
- *To enable other land uses that provide facilities or services to meet the day to day needs of the residents.*

The development is satisfactory with regard to the above objectives.

The land use table permits the following uses in the R2 zone.

Attached dwellings; Bed and breakfast accommodation; Boat launching ramps; Centre-based child care facilities; Community facilities; Dual occupancies; Dwelling houses; Environmental facilities; Exhibition homes; Exhibition villages; Group homes; Health consulting rooms; Home-based child care; Home businesses; Home industries; Hospitals; Hostels; Information and education facilities; Jetties;

Multi dwelling housing; Neighbourhood shops; Oyster aquaculture; Places of public worship; Pond-based aquaculture; Recreation areas; Recreation facilities (indoor); Recreation facilities (outdoor); Residential flat buildings; Respite day care centres; Roads; Semi-detached dwellings; Seniors housing; Shop top housing; Signage; Tank-based aquaculture; Veterinary hospitals

Multi-Dwelling Housing means 3 or more dwellings (whether attached or detached) on one lot of land, each with access at ground level, but does not include a residential flat building.

The proposal is categorised as a **Multi Dwelling Housing** as defined above and is permissible in the zone with development consent.

Clause 2.6 Subdivision – consent requirements

Consent is required for the subdivision of land.

Clause 2.7 Demolition requires development consent.

Conditions of consent could be included with regard to demolition works.

Part 4 Principal development standards

Clause 4.1 Minimum subdivision lot size

This clause does not apply as the proposal is in relation to the subdivision of a strata plan or strata plan of subdivision under the Strata Schemes Development Act 2015.

Clause 4.3 Height of buildings

The proposed maximum building height of 8.2m does not exceed the maximum of 9m permitted for the site.

Clause 4.4 Floor space ratio

Maximum FSR permitted for the zone: 0.5:1

Site area: 1642.80m²

GFA: 641m²

FSR: $641\text{m}^2/1642.80\text{m}^2 = 0.39:1$

The proposed floor space ratio does not exceed the maximum permissible for the site.

Part 7 Local provisions - general

Clause 7.1 Public utility infrastructure

The proposal has been assessed against clause 7.1 and the subject site is already serviced by public utilities which can be augmented to service the new proposal

Clause 7.2 Natural resource sensitivity – biodiversity

Council records indicate the adjoining site (Lot 188, DP 260629) is affected by “Natural Resource Sensitivity – Biodiversity”. The application was referred to Council’s Landscape Division to assess likely impacts of the proposal in this regard. Advice received was that existing trees are not accurately shown on all documentation and the proposed easement plan does not address site constraints of existing trees. Construction of associated drainage infrastructure will likely have adverse impacts on native terrestrial flora and fauna as well as trees on the adjoining property (LAHC land) which are not considered within the submitted Arboricultural Impact Assessment (AIA).



Figure 3: WLEP 2009 “Natural Resource Sensitivity – Biodiversity” map

Clause 7.6 Earthworks

Earthworks are proposed to facilitate the proposal as such this Clause applies to the proposed development. The objectives of this clause are:

- (a) to ensure that any earthworks will not have a detrimental impact on environmental functions and processes, neighbouring uses or heritage items and features surrounding land,*
- (b) to allow earth works of a minor nature without separate development consent.*

Clause 7.6(3) of WLEP 2009 states that before granting development consent for earthworks, the consent authority must consider the following matters;

- (a) the likely disruption of, or any detrimental effect on, existing drainage patterns and soil stability in the locality,*
- (b) the effect of the proposed development on the likely future use or redevelopment of the land,*
- (c) the quality of the fill or of the soil to be excavated, or both,*
- (d) the effect of the proposed development on the existing and likely amenity of adjoining properties,*
- (e) the source of any fill material or the destination of any excavated material,*
- (f) the likelihood of disturbing Aboriginal objects or other relics,*
- (g) proximity to and potential for adverse impacts on any watercourse, drinking water catchment or environmentally sensitive area.*

Council’s Engineers have assessed the application submission and are not satisfied noting the following;

- The extent of fill and landform modification required to facilitate the proposed development is not considered responsive to the site 's natural land form and topography; and
- Insufficient information is considered to have been submitted to determine whether the proposed dwellings will be located so as to minimise any adverse impact on the natural features and amenity.

Clause 7.14 Minimum site width

The subject site is approximately 22.9 metres wide and complies with the 18m development standard.

2.2 SECTION 4.15(1)(A)(II) ANY PROPOSED INSTRUMENT

N/A

2.3 SECTION 4.15(1)(A)(III) ANY DEVELOPMENT CONTROL PLAN

2.3.1 WOLLONGONG DEVELOPMENT CONTROL PLAN 2009

The development has been assessed against the relevant chapters of WDCP 2009 and found to be unsatisfactory with regards to earthworks, retaining wall heights, visual impact, storm water design, traffic, and bushfire management. The proposal seeks a significant number of variations to WDCP 2009 as relates to retaining wall height, lodgement requirements, stormwater disposal/design, bushfire management and tree removal. It is noted that no variation justification has been submitted for all variations.

A full assessment of the proposal in relation to Chapter B1 of WDCP 2009 is contained at **Attachment 3**.

2.3.2 WOLLONGONG CITY WIDE DEVELOPMENT CONTRIBUTIONS PLAN 2023

The estimated cost of works is >\$100,000 and a levy of 1% would therefore be applicable under this plan as the threshold value is \$100,000.

2.4 SECTION 4.15(1)(A)(IIIA) ANY PLANNING AGREEMENT THAT HAS BEEN ENTERED INTO UNDER SECTION 7.4, OR ANY DRAFT PLANNING AGREEMENT THAT A DEVELOPER HAS OFFERED TO ENTER INTO UNDER SECTION 7.4

There are no planning agreements entered into or any draft agreement offered to enter into under S7.4 which affect the development.

2.5 SECTION 4.15(A)(IV) THE REGULATIONS (TO THE EXTENT THAT THEY PRESCRIBE MATTERS FOR THE PURPOSES OF THIS PARAGRAPH)

Environmental Planning and Assessment Regulation 2021

2 Savings

Any act, matter, or thing that, immediately before the repeal of the 2000 Regulation, had effect under the 2000 Regulation continues to have effect under this Regulation.

2000 Regulation means the Environmental Planning and Assessment Regulation 2000 as in force immediately before its repeal on 1 March 2022.

6 Determination of BASIX development

The proposal is BASIX affected.

61 Additional matters that consent authority must consider

Conditions of consent could be applied with regard to demolition.

62 Consideration of fire safety

No change of use.

63 Considerations for erection of temporary structures

Not applicable.

2.6 SECTION 4.15(1)(B) THE LIKELY IMPACTS OF DEVELOPMENT

The proposal is considered unacceptable with regard to the likely impacts.

The key impacts have been discussed within this report. Further impacts are discussed below:

Context and Setting:

Well-designed multi-dwelling housing is compatible with the context of the area as it is characterised by residential development.

The DCP variations in respect to storm water design, retaining walls and lodgement requirements are not capable of support. The scale of the development as viewed from adjoining properties is not comparable to other developments in the locality, particularly those directly adjacent.

The development fails to provide reasonable amenity to the occupants, neighbours and public areas and is not in keeping with the character of the area.

Access, Transport and Traffic:

The design and configuration of the vehicular access and car parking arrangements is unacceptable. The parking aisle adjacent to the garage and visitor spaces is required to be widened to a width that complies with figure 5.4 of AS2890.1. No more than a 3-point turn manoeuvre (combined entry/exit) for a B85 vehicle is required to be demonstrated on the layout plans, with suitable clearances. To achieve compliance, this may require widening of the parking aisle and door jams, and removal/revision of the entry porches, to achieve compliant turning manoeuvres, with a parking aisle of no less than 5.8m width.

Public Domain:

The proposal is not considered to be compatible to the site and would set an undesirable precedent for development within the local area. The cumulative impact of similar development would likely have an adverse impact upon the public domain of the area.

Utilities:

The proposal is not likely to place an unreasonable demand on utilities supply. Existing utilities are adequate to service the proposal.

Heritage:

The site does not contain nor is within the vicinity of heritage items and is not located in a heritage conservation area.

Other land resources:

The proposal does not result to orderly development of the site and has negative impacts beyond it.

Water:

The site is presently serviced by Sydney Water, and the proposal is not envisaged to have unreasonable water consumption.

Soils:

The site is not affected by acid sulfate soils or instability.

Air and Microclimate:

The proposal is not expected to have a measurable negative impact on air or microclimate.

Flora and Fauna:

Eight trees are proposed for removal. Given the arborist's report does not meet the minimum standard, council is unable to determine critical tree impact matters on the subject site and adjoining land to the rear. The construction of associated drainage infrastructure will impact native terrestrial flora and fauna as well and the applicant's representing arborist has not considered these trees as part of their assessment.

Waste:

Construction waste could be managed via the imposition of appropriate conditions if the application were to be approved. Bins could be stored in an appropriate location and will be collected from the street frontage.

Energy:

The proposal is not expected to involve unreasonable energy consumption subject to the implementation of the measures identified in the BASIX certificate.

Noise and vibration:

Conditions could be imposed that minimise nuisance during any construction, demolition, or works.

Natural hazards:

There are no known natural hazards affecting the site that would prevent the proposal.

Council's records list the site as bushfire affected. The application was referred to the NSW RFS for consideration under 100B of the Rural Fires Act. The New South Wales Rural Fire Service (NSW RFS) considered the information submitted and requested additional information on 8 June 2023. The applicant provided an amended bushfire report on 27 June 2023 and a re-referral was opened on 26 October 2023. The new information was considered in a letter dated 8 March 2024 by the NSW RFS and General Terms of Approval, under Division 4.8 of the *Environmental Planning and Assessment Act 1979*, and Bush Fire Safety Authority, under section 100B of the *Rural Fires Act 1997*, has not been issued. The NSW RFS do not support the proposal.

Technological hazards:

The site is not in a coastal hazard location and no technological hazards have been identified in the assessment

Safety, Security and Crime Prevention:

The development is not expected to give rise to increased opportunities for criminal and/ or antisocial behaviour.

Social Impact:

The proposal may create negative social impacts by way of privacy intrusion to adjoining properties. It is considered that insufficient information has been submitted for Council to assess impacts from the proposed development on the amenity of the neighbourhood and the surrounding development.

Economic Impact:

There are not expected to be adverse economic impacts arising from the proposed development.

Site Design and Internal Design:

The application does not result in any departures from development standards. The application results in variations to Councils storm water DCP, earthworks, retaining wall heights ,visual impact and tree preservation controls as outlined in Section 2.3.1 of the report.

Construction:

A condition relating to compliance with the BCA could be attached to the application if it was otherwise approved.

Cumulative Impacts:

Considering the matters outlined throughout this report, the proposal is considered likely to result in adverse cumulative impacts.

2.7 SECTION 4.15(1)(C) THE SUITABILITY OF THE SITE FOR THE DEVELOPMENT

Does the proposal fit in the locality?

The proposal is not appropriate and is expected to result in negative impacts on the amenity of the locality and adjoining properties.

Are the site attributes conducive to development?

The application does not demonstrate the site is suitable for the proposal as evidenced by discussion within the report

2.8 SECTION 4.15(1)(D) ANY SUBMISSIONS MADE IN ACCORDANCE WITH THIS ACT OR THE REGULATIONS

Details of the proposal were publicly exhibited in accordance with Wollongong Community Participation Plan 2019. Eight (8) submissions were received during the notification period. Detailed discussion on submissions received is provided at section 1.5.

2.9 SECTION 4.15(1)(E) THE PUBLIC INTEREST

The application is expected to have unreasonable impacts on the environment and the amenity of the locality. It is considered inappropriate with consideration to the zoning and the character of the area and is unsatisfactory with regard to the applicable planning controls such as stormwater design,

tree removal and traffic. Internal referrals are unsatisfactory, the proposal in the current form is therefore not in the public interest.

3 CONCLUSION

This application has been assessed as unsatisfactory having regard to the Heads of Consideration under Section 54.15(1) of the Environmental Planning and Assessment Act 1979, the provisions of Wollongong Local Environmental Plan 2009 and all relevant Council DCPs, Codes and Policies. The proposal is not supportable in its current form.

The applicant has not provided adequate justification for variations sought to WDCP 2009 as relates to storm water design, earthworks, retaining wall heights, visual impact, tree removal and amenity.

Pursuant to clause 2.3 of WLEP 2009, Multi-dwelling housing is permissible in the R2 Low density residential zone with development consent. Whilst the proposal may be considered to be consistent with the zone objectives it is inconsistent with Council's policies and development control plans.

Internal referral comments and submissions have been considered. The proposed development is likely to result in adverse impacts on the amenity of the surrounding area, environment, and adjoining development.

4 RECOMMENDATION

Development Application DA-2023/17 be refused for the following reasons;

1. Pursuant to the provisions of Section 4.15 (1)(a)(i) of the Environmental Planning and Assessment Act, 1979, the proposal is contrary to the aims of the Wollongong Local Environmental Plan 2009, as:
 - a) The application does not provide conservation and rehabilitation measures to be undertaken to enhance the existing native vegetation on the adjoining lot which may be impacted by the transect of a proposed drainage easement. The proposal fails to demonstrate consistency with Part 7 of the NSW Biodiversity Conservation Act 2016.
2. Pursuant to the provision of 4.46 of the Environmental Planning and Assessment Act, 1979, insufficient information has been submitted that would enable the NSW Rural Fire Service to issue a Bushfire Safety Authority pursuant to Section 100B of the NSW Rural Fires Act 1997.
3. Pursuant to the provisions of Section 4.15(1)(a)(i) of the Environmental Planning and Assessment Act, 1979, insufficient information has been provided with the proposal for the consent authority to assess and be satisfied that the drainage infrastructure has been located so as to minimise any adverse impact on the natural features and environment so as to satisfy Wollongong Local Environmental Plan 2009 Clause 7.2(1)(a)(b)(c) objectives.
4. Pursuant to the provisions of Section 4.15(1)(a)(i) of the Environmental Planning Assessment Act, 1979, the extent of fill, landform modification is not site responsive, and inconsistent with Wollongong Local Environmental Plan 2009 Clause 7.6(1)(a) and Clause 7.6(3)(d).
5. Pursuant to the provisions of Section 4.15 (1)(a)(iii) of the Environmental Planning and Assessment Act, 1979, the application fails to demonstrate consistency with the provisions of the Wollongong Development Control Plan 2009:
 - a. Chapter B1: Residential Development; in that the proposal does not comply with residential landscaping requirements and retaining walls.
 - b. Chapter E3: Car Parking Access Servicing Loading Facilities; in that the proposal does not comply or achieve manoeuvrability for a B85 vehicle.
 - c. Chapter E6: Landscaping; in that separation between driveway and dwellings are not satisfactory or supported by council.

- d. Chapter E14: Stormwater Management; in that the proposal does not comply with section 9.3 Disposal of Stormwater from Development Sites Chapter E14 of Wollongong Development Control Plan 2009 as the development site does not have a suitable discharge point.
 - e. Chapter E16: Bushfire Management; in that a bushfire safety authority was not issued.
 - f. Chapter E17: Preservation and Management of Trees and Vegetation; in that the proposal fails to consider the impact on vegetation to facilitate drainage infrastructure.
 - g. Chapter E18: Native Biodiversity Impact Assessment; in that the proposal fails to consider biodiversity impacts to native flora and fauna.
 - h. Chapter E19: Earthworks; in that the proposal uses excessive fill for the construction of retaining walls.
6. Pursuant to the provisions of Section 4.15(1)(c) of the Environmental Planning and Assessment Act, 1979, the proposal fails to demonstrate that the site is suitable for the development.
 7. Pursuant to the provisions of Section 4.15(1)(d) of the Environmental Planning and Assessment Act, 1979, having regard to public submissions, the development is unsuitable with respect to:
 - a. Amenity of the area;
 - b. Storm water design; and
 - c. Environmental Impacts
 8. Pursuant to the provisions of Section 4.15(1)(e) of the Environmental Planning and Assessment Act, 1979, the approval of the development would set an undesirable precedent for similar inappropriate development and is therefore, not in the public interest.

5 ATTACHMENTS

- 1 Architectural Plans
- 2 WDCP 2009 Compliance Table

MULTI DWELLING DEVELOPMENT AND STRATA TITLE SUBDIVISION

148-150 FARMBOROUGH ROAD, FARMBOROUGH HEIGHTS 2526
LOT/SECTION/PLAN NO: 67/-/DP19224

AREA CALCULATIONS

Unit 1 Gross Floor Area:

Ground Floor Area	44.05m ²
Garage Floor Area	42.10m ²
Porch Area	3.85m ²
Alfresco Area	20.00m ²
First Floor Area	76.45m ²

Unit 1 Total Gross Floor Area: 186.45m²

Unit 1 Floor Space Ratio:
(measured from internal face of external walls)

Ground Floor Area	44.05m ²
Garage Floor Area	42.10m ²
First Floor Area	76.45m ²

Less Garage Floor Area Allowance -36.00m²

Unit 1 Floor Area Proposed: 126.60m²

AREA CALCULATIONS

Unit 2 Gross Floor Area:

Ground Floor Area	45.40m ²
Garage Floor Area	42.10m ²
Porch Area	3.85m ²
Alfresco Area	20.00m ²
First Floor Area	77.65m ²

Unit 2 Total Gross Floor Area: 189.00m²

Unit 2 Floor Space Ratio:
(measured from internal face of external walls)

Ground Floor Area	45.40m ²
Garage Floor Area	42.10m ²
First Floor Area	77.65m ²

Less Garage Floor Area Allowance -36.00m²

Unit 2 Floor Area Proposed: 129.15m²

AREA CALCULATIONS

Unit 32 Gross Floor Area:

Ground Floor Area	45.40m ²
Garage Floor Area	42.10m ²
Porch Area	3.85m ²
Alfresco Area	20.00m ²
First Floor Area	77.65m ²

Unit 3 Total Gross Floor Area: 189.00m²

Unit 3 Floor Space Ratio:
(measured from internal face of external walls)

Ground Floor Area	45.40m ²
Garage Floor Area	42.10m ²
First Floor Area	77.65m ²

Less Garage Floor Area Allowance -36.00m²

Unit 3 Floor Area Proposed: 129.15m²

AREA CALCULATIONS

Site Area: 1642.80m²

Permissible Gross Floor Area (75%): 821.40m²

Units 1 - 8 Individual Unit Floor Areas:
(measured from internal face of external walls)

Unit 1 Floor Space Proposed:	126.60m ²
Unit 2 Floor Space Proposed:	129.15m ²
Unit 3 Floor Space Proposed:	129.15m ²
Unit 4 Floor Space Proposed:	129.15m ²
Unit 5 Floor Space Proposed:	126.95m ²

Combined Floor Space Proposed: 641.00m²

Floor Space Ratio 39.00%

LANDSCAPING REQUIREMENTS

Site Area: 1642.80m²

Landscaping MIN 15% of Lot Area Required: 246.45m²

Landscaped Area Proposed: 519.80m²

Deepsoil MIN 6m of rear:

Deepsoil Area Proposed: 129.75m²

Total Landscaping 30% Required: 492.85m²

Total Landscaping Proposed: 649.55m²

AREA CALCULATIONS

Unit 4 Gross Floor Area:

Ground Floor Area	45.40m ²
Garage Floor Area	42.10m ²
Porch Area	3.85m ²
Alfresco Area	20.00m ²
First Floor Area	77.65m ²

Unit 4 Total Gross Floor Area: 189.00m²

Unit 4 Floor Space Ratio:
(measured from internal face of external walls)

Ground Floor Area	45.40m ²
Garage Floor Area	42.10m ²
First Floor Area	77.65m ²

Less Garage Floor Area Allowance -36.00m²

Unit 4 Floor Area Proposed: 129.15m²

AREA CALCULATIONS

Unit 5 Gross Floor Area:

Ground Floor Area	45.40m ²
Garage Floor Area	41.15m ²
Porch Area	3.85m ²
Alfresco Area	20.00m ²
First Floor Area	76.40m ²

Unit 5 Total Gross Floor Area: 186.80m²

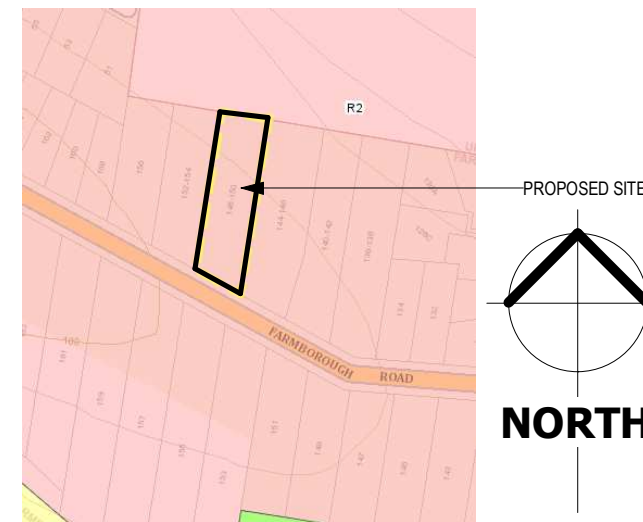
Unit 5 Floor Space Ratio:
(measured from internal face of external walls)

Ground Floor Area	45.40m ²
Garage Floor Area	41.15m ²
First Floor Area	76.40m ²

Less Garage Floor Area Allowance -36.00m²

Unit 5 Floor Area Proposed: 126.95m²

Drawing Schedule	
Sheet Number	Sheet Name
01	COVER PAGE
02	SITE ANALYSIS PLAN
03	PROPOSED SITE PLAN
04	GROUND FLOOR PLAN U1-U5
05	GROUND FLOOR PLAN U1-U2
06	GROUND FLOOR PLAN U3-U4
07	GROUND FLOOR PLAN U5
08	TYPICAL GROUND FLOOR 3D PERSPECTIVE
09	FIRST FLOOR PLAN - U1-U5
10	FIRST FLOOR PLAN - U1-U2
11	FIRST FLOOR PLAN - U3-U4
12	FIRST FLOOR PLAN - U5
13	TYPICAL FIRST FLOOR 3D PERSPECTIVE
14	SOUTH ELEVATION
15	EAST ELEVATION
16	NORTH ELEVATION
17	WEST ELEVATION
18	U1 AND U2 ELEVATION
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21	ROOF PLAN
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23	SITE COVERAGE PLAN
24	STRATA TITLE SUBDIVISION PLAN
25	SHADOW DIAGRAM
26	SHADOW DIAGRAM
27	SITE WASTE MINIMISATION PLAN
28	FSR AREA CALCS
29	FSR AREA CALCS
30	BASIX AND NATHERS
31	RETAINING WALL PLAN



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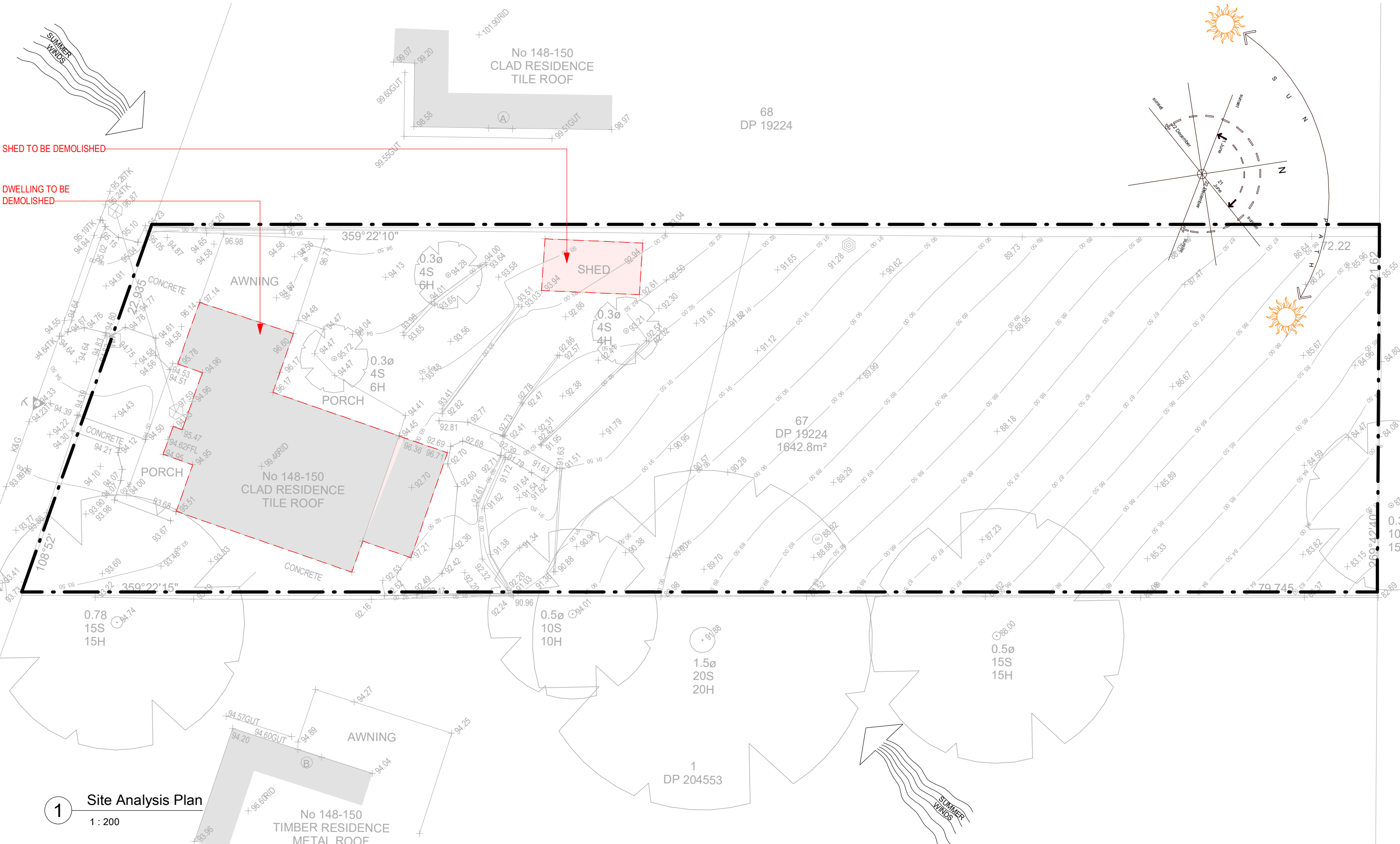
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SHEET:	COVER PAGE	ISSUE:	
PROPOSAL:	MULTI DWELLING DEVELOPMENT AND STRATA TITLE SUBDIVISION	DATE:	05/07/2023
CLIENT:	CONSTRUCTION LEGACY	SCALE @ A3:	
ADDRESS:	148-150 FARMBOROUGH ROAD, FARMBOROUGH HEIGHTS 2526 LOT/SECTION/PLAN NO: 67 /-/DP19224	PROJECT NO:	10STAR-223
LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA
		SHEET:	01



1 Site Analysis Plan
1 : 200

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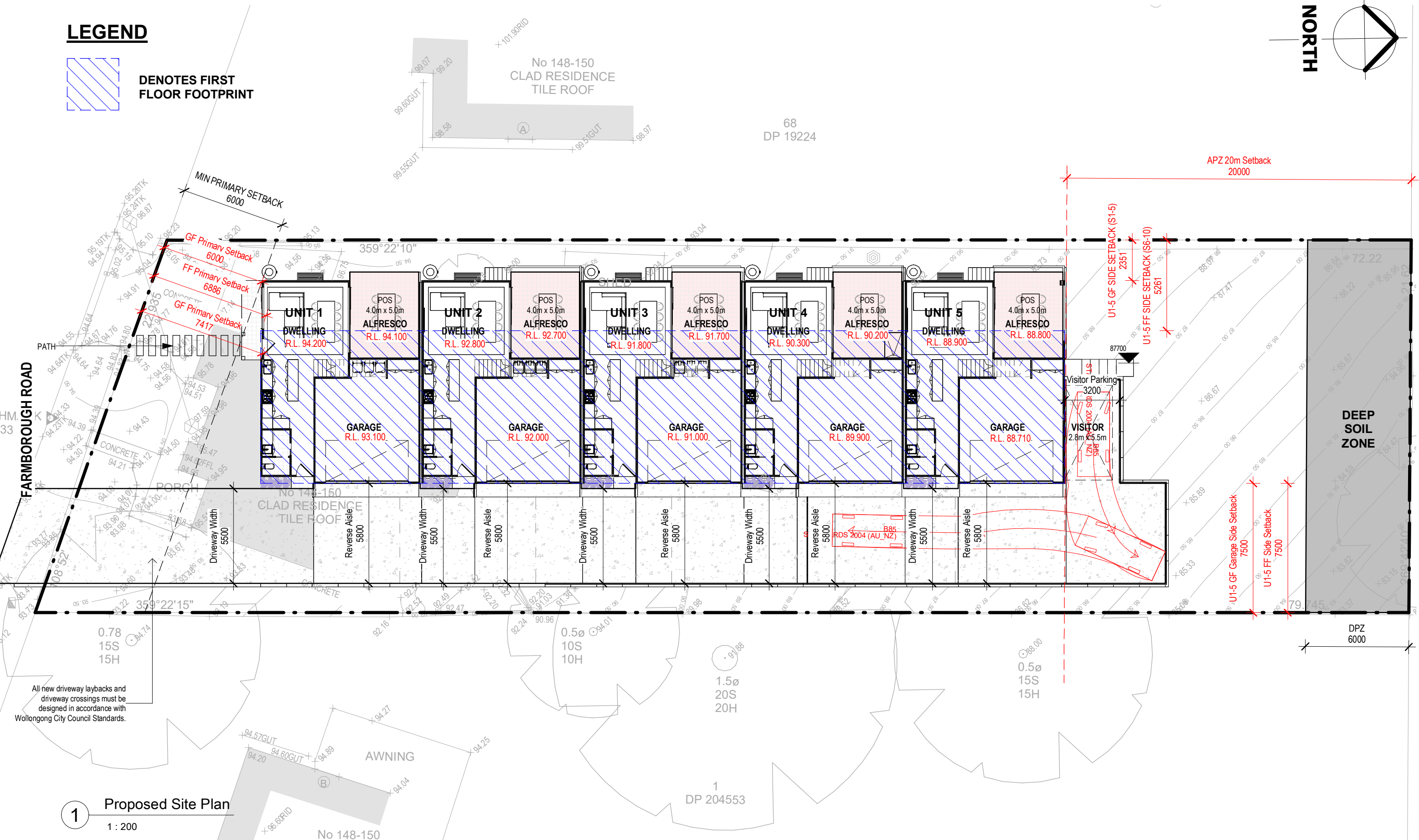
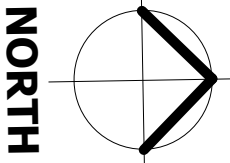
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PROPOSAL:	MULIT DWELLING DEVLOPMENT AND STRATA TITLE SUBDIVSION	DATE:	05/07/2023
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LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA
			SHEET:
			02

LEGEND

 DENOTES FIRST FLOOR FOOTPRINT



1 Proposed Site Plan
1 : 200

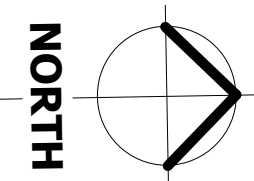
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ADDRESS:	148-150 FARMBOROUGH ROAD, FARMBOROUGH HEIGHTS 2526 LOT/SECTION/PLAN NO: 67 I-DP19224	PROJECT NO:	10STAR-223
LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA
		SHEET:	03



46660



1 Ground Floor Plan - U1-U5
1 : 150

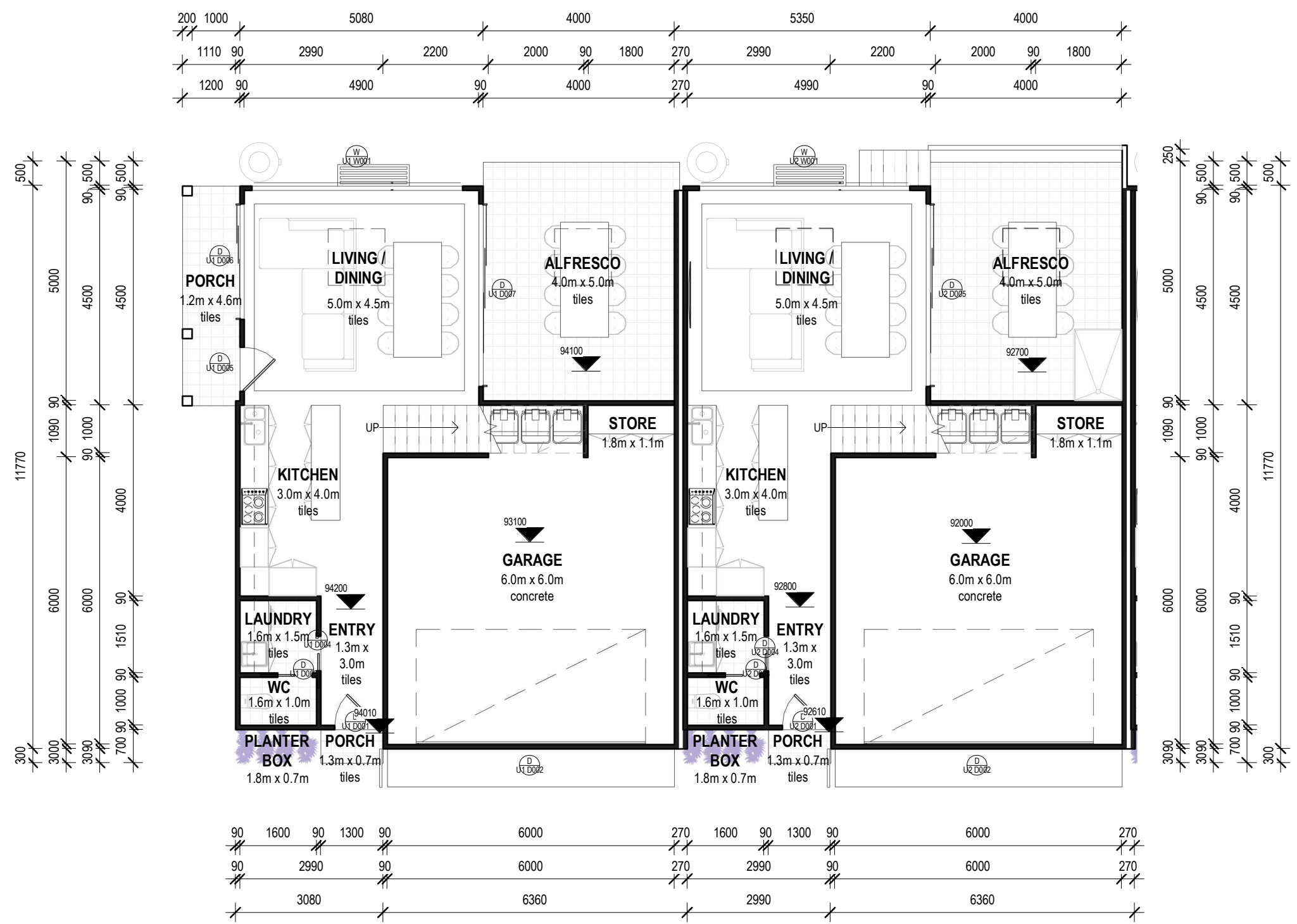
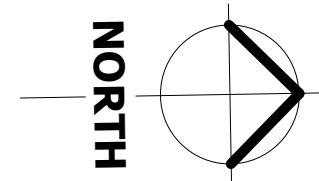
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SHEET:	GROUND FLOOR PLAN U1-U5			ISSUE:
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LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA	04



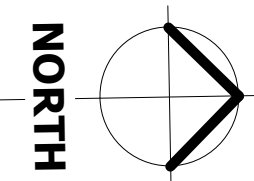
1 Ground Floor Plan - U1-U2
1 : 100

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ADDRESS:	148-150 FARBOROUGH ROAD, FARBOROUGH HEIGHTS 2526 LOT/SECTION/PLAN NO: 67 /-DP19224	PROJECT NO:	10STAR-223	SHEET:
LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA	05



1 Ground Floor Plan - U3-U4
1 : 100

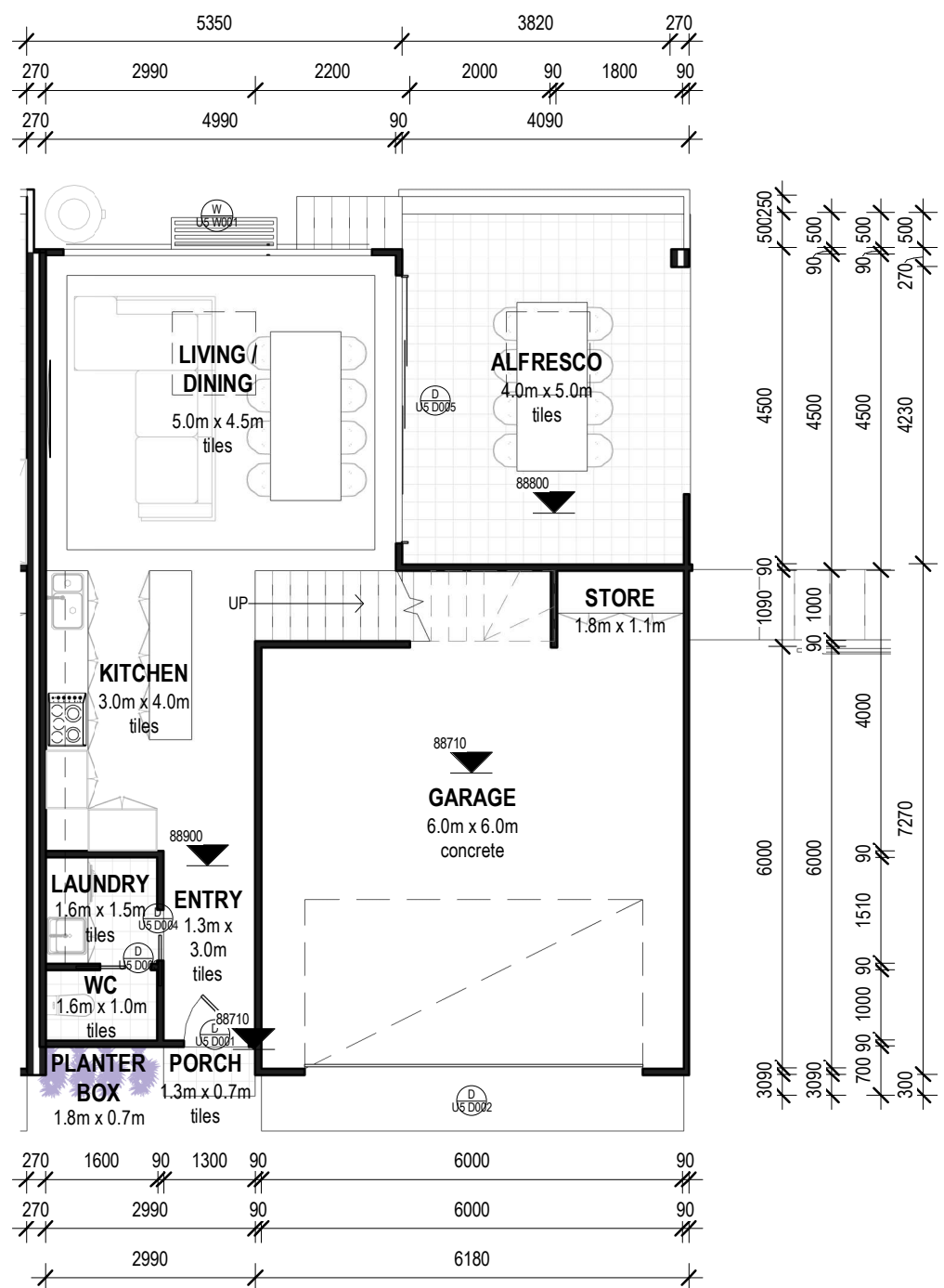
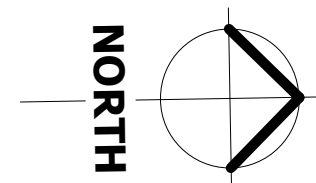
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LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA	06



1 Ground Floor Plan - U5
 1 : 100

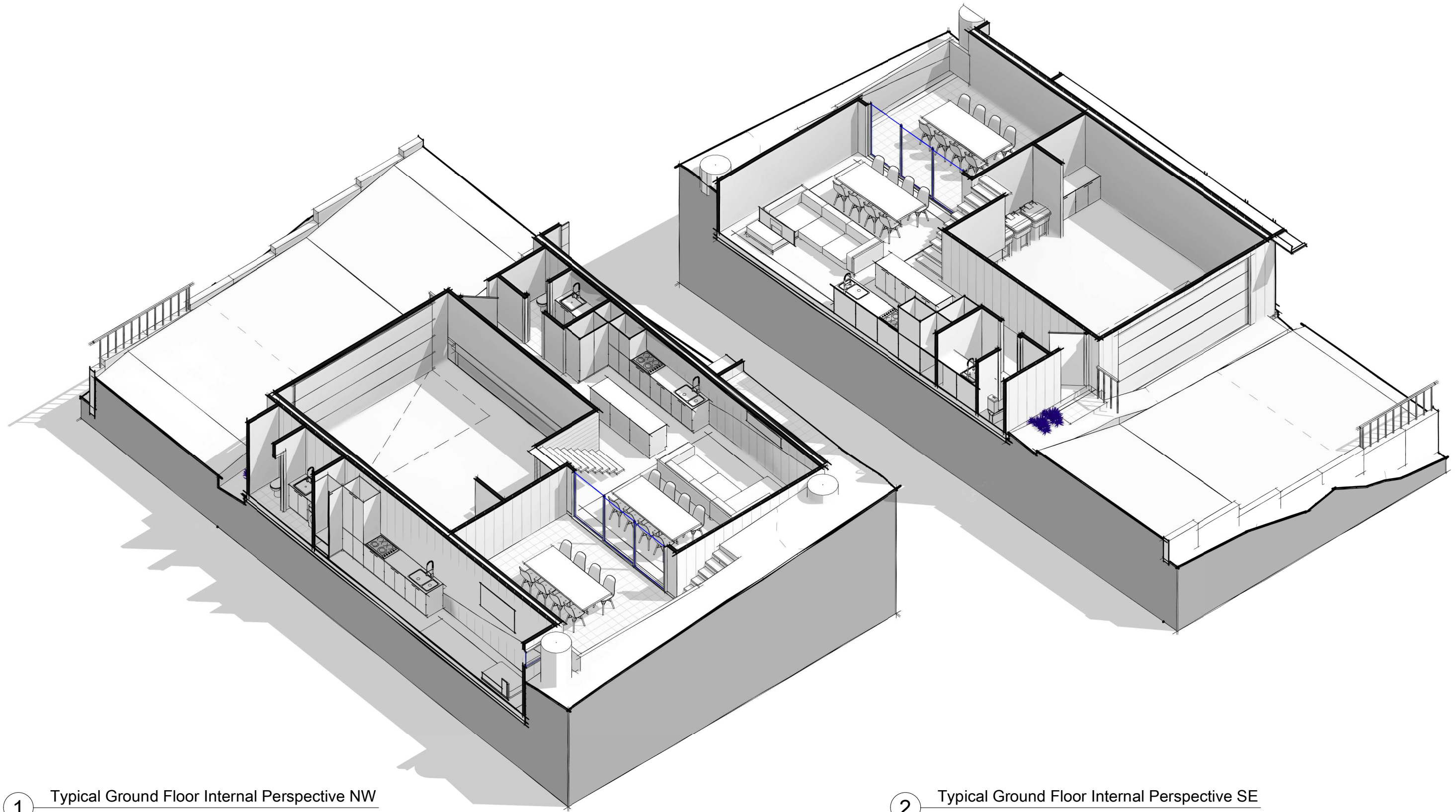
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1 Typical Ground Floor Internal Perspective NW

2 Typical Ground Floor Internal Perspective SE



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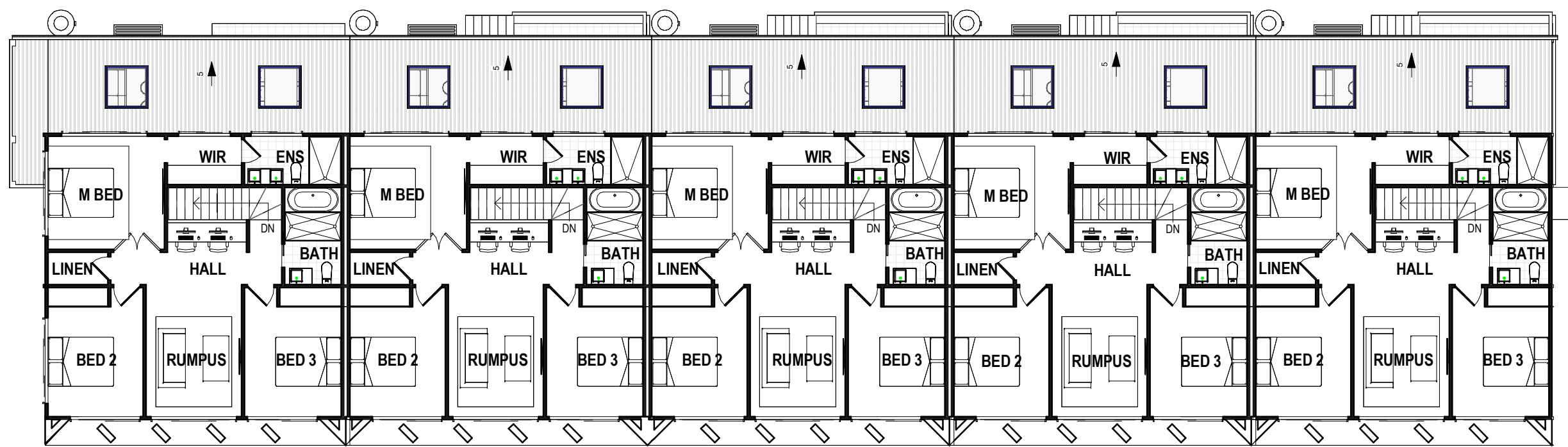
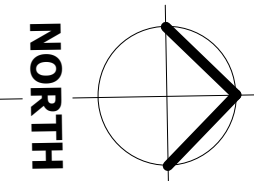
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SHEET:	TYPICAL GROUND FLOOR 3D PERSPECTIVE			ISSUE:
PROPOSAL:	MULTI DWELLING DEVELOPMENT AND STRATA TITLE SUBDIVISION	DATE:	05/07/2023	DA-004
CLIENT:	CONSTRUCTION LEGACY	SCALE @ A3:		
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LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA	08



1 First Floor - U1-U5
1 : 150

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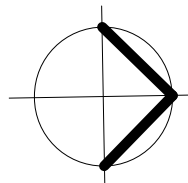
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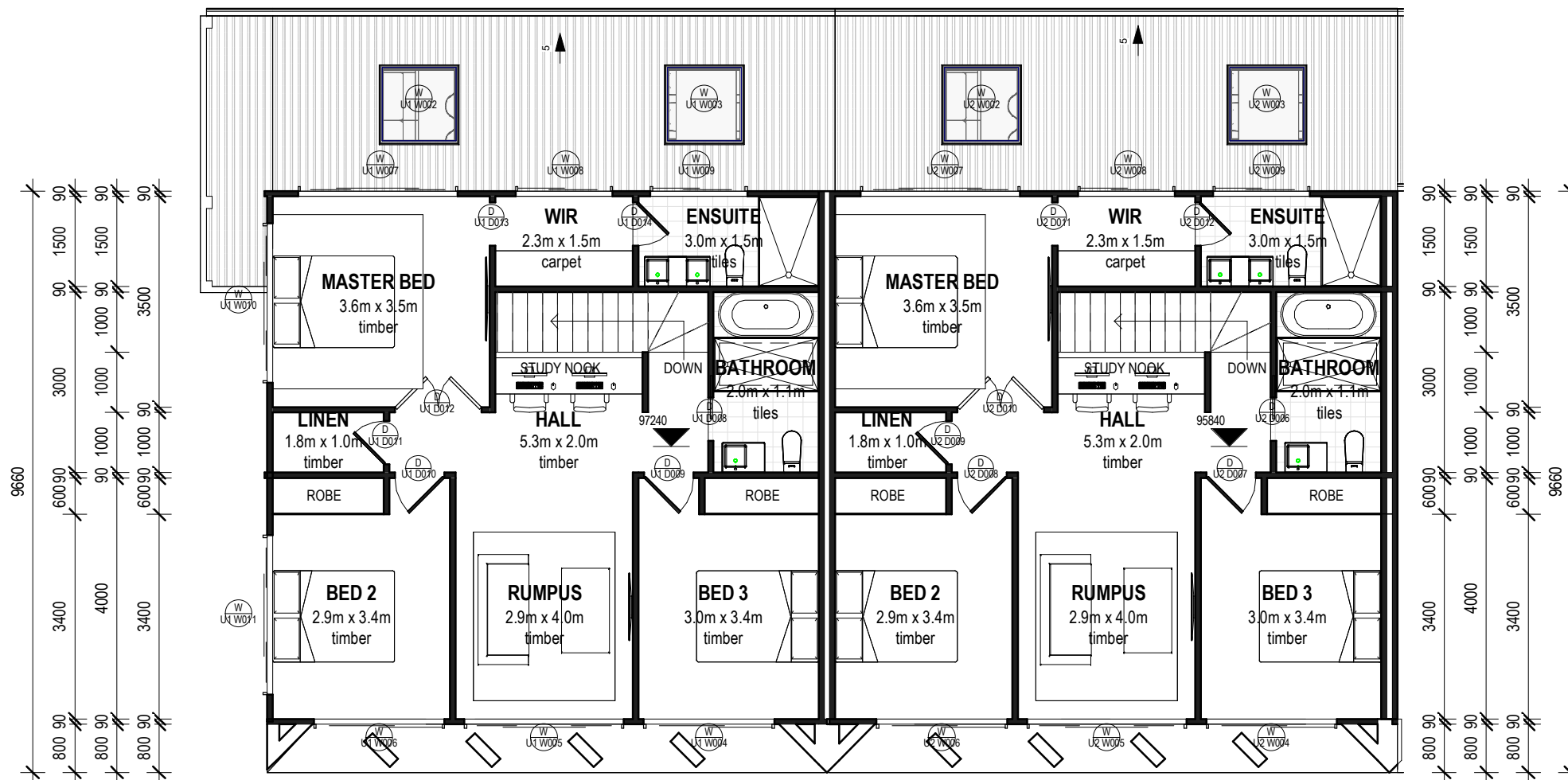
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SHEET:	FIRST FLOOR PLAN - U1-U5			ISSUE:
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CLIENT:	CONSTRUCTION LEGACY	SCALE @ A3:	1 : 150	
ADDRESS:	148-150 FARBOROUGH ROAD, FARBOROUGH HEIGHTS 2526 LOT/SECTION/PLAN NO: 67 /-DP19224	PROJECT NO:	10STAR-223	SHEET:
LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA	09

NORTH



90		9080		270		9080		270
90	3610	90	2450	90	1000	90	1750	270
90	3610	90	2290	90	3000	90	3000	270



90	2950	90	2950	90	3000	270	2950	90	2950	90	3000	270				
90	1850	90	1010	90	2950	90	1010	90	1900	90	2950	90	1010	90	1900	270
90			9080			270			9080			270				

1 First Floor - U1-U2
1 : 100

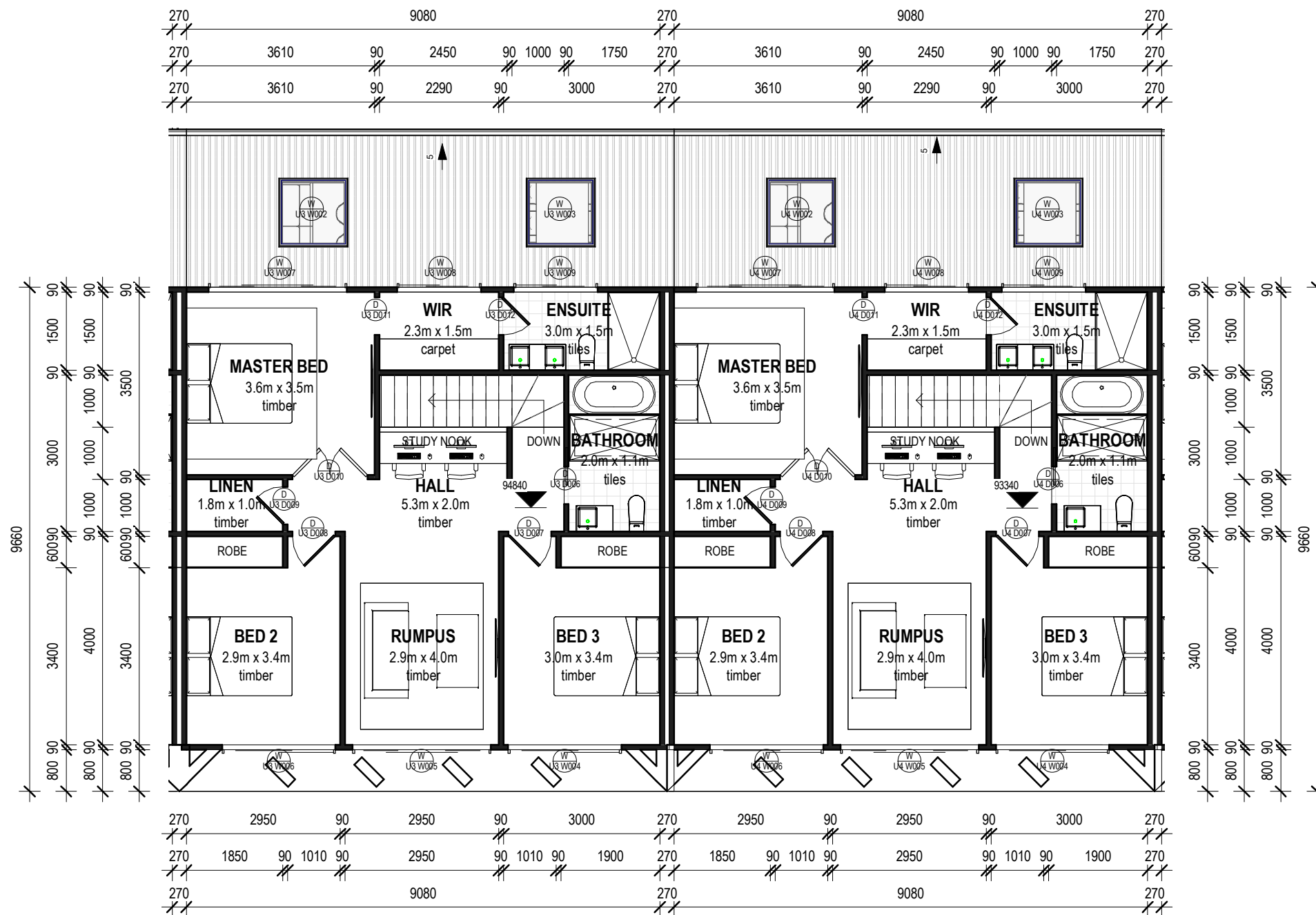
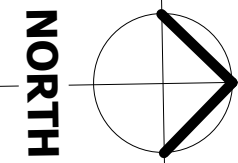


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SHEET:	FIRST FLOOR PLAN - U1-U2	ISSUE:	
PROPOSAL:	MULIT DWELLING DEVLOPMENT AND STRATA TITLE SUBDIVSION	DATE:	05/07/2023
CLIENT:	CONSTRUCTION LEGACY	SCALE @ A3:	1 : 100
ADDRESS:	148-150 FARBOROUGH ROAD, FARBOROUGH HEIGHTS 2526 LOT/SECTION/PLAN NO: 67 /-DP19224	PROJECT NO:	10STAR-223
LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA
			SHEET:
			10



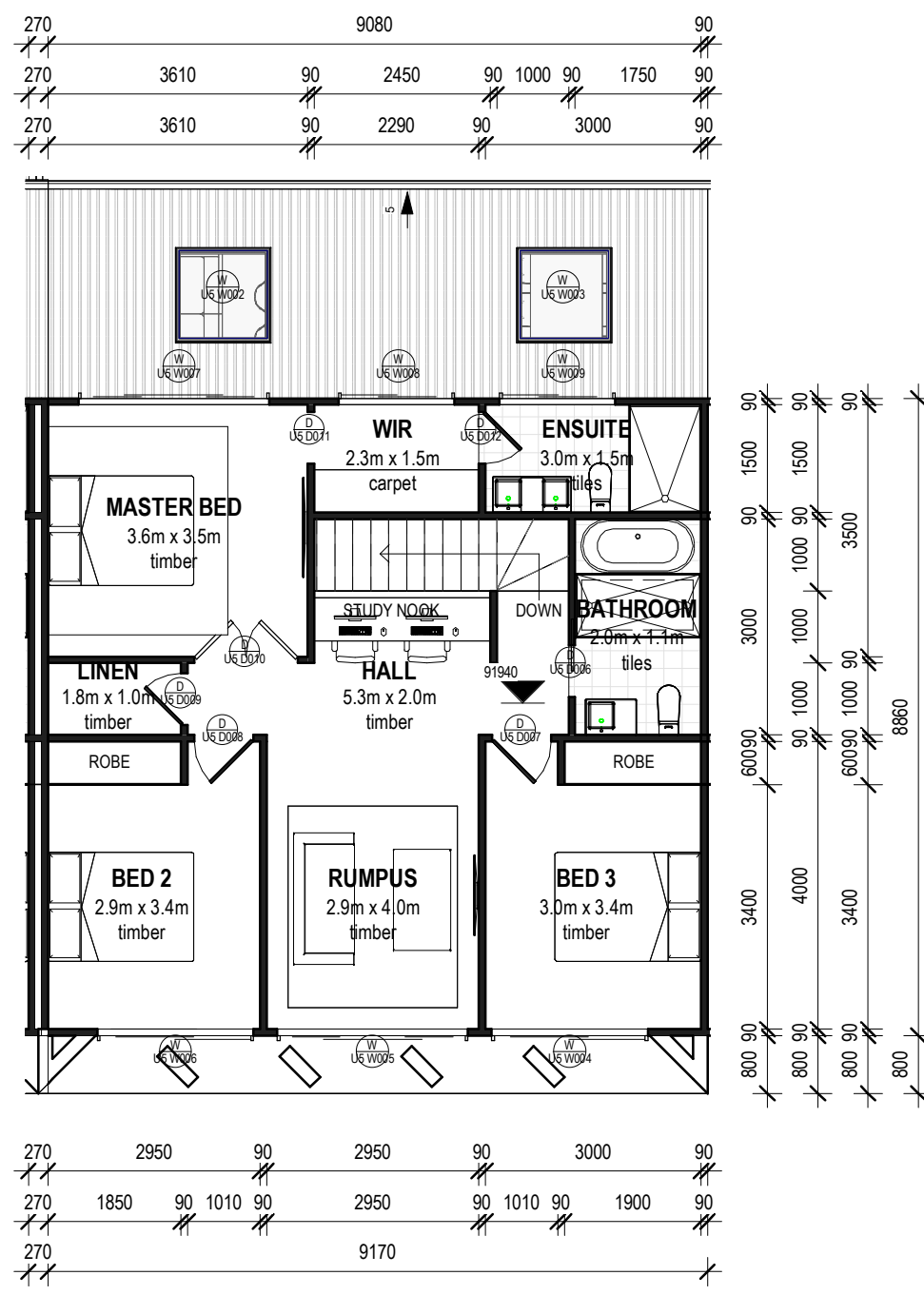
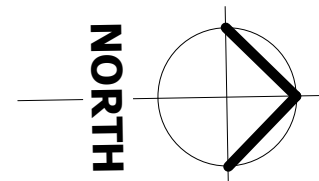
1 First Floor - U3-U4
1 : 100

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PROPOSAL:	MULIT DWELLING DEVLOPMENT AND STRATA TITLE SUBDIVSION	DATE:	05/07/2023
CLIENT:	CONSTRUCTION LEGACY	SCALE @ A3:	1 : 100
ADDRESS:	148-150 FARBOROUGH ROAD, FARBOROUGH HEIGHTS 2526 LOT/SECTION/PLAN NO: 67 /-DP19224	PROJECT NO:	10STAR-223
LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA
		SHEET:	11
			DA-004



1 First Floor - U5
1 : 100

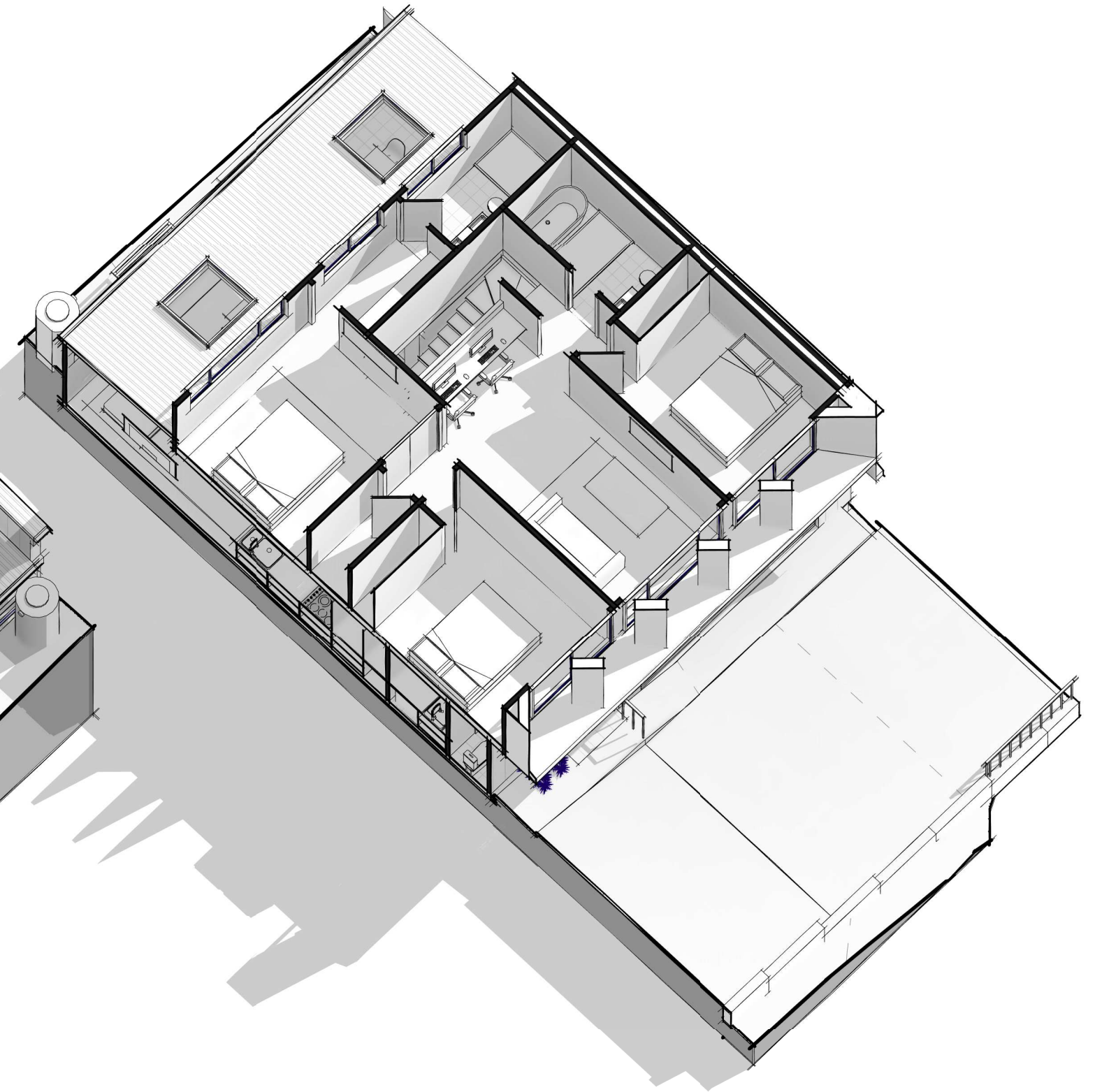
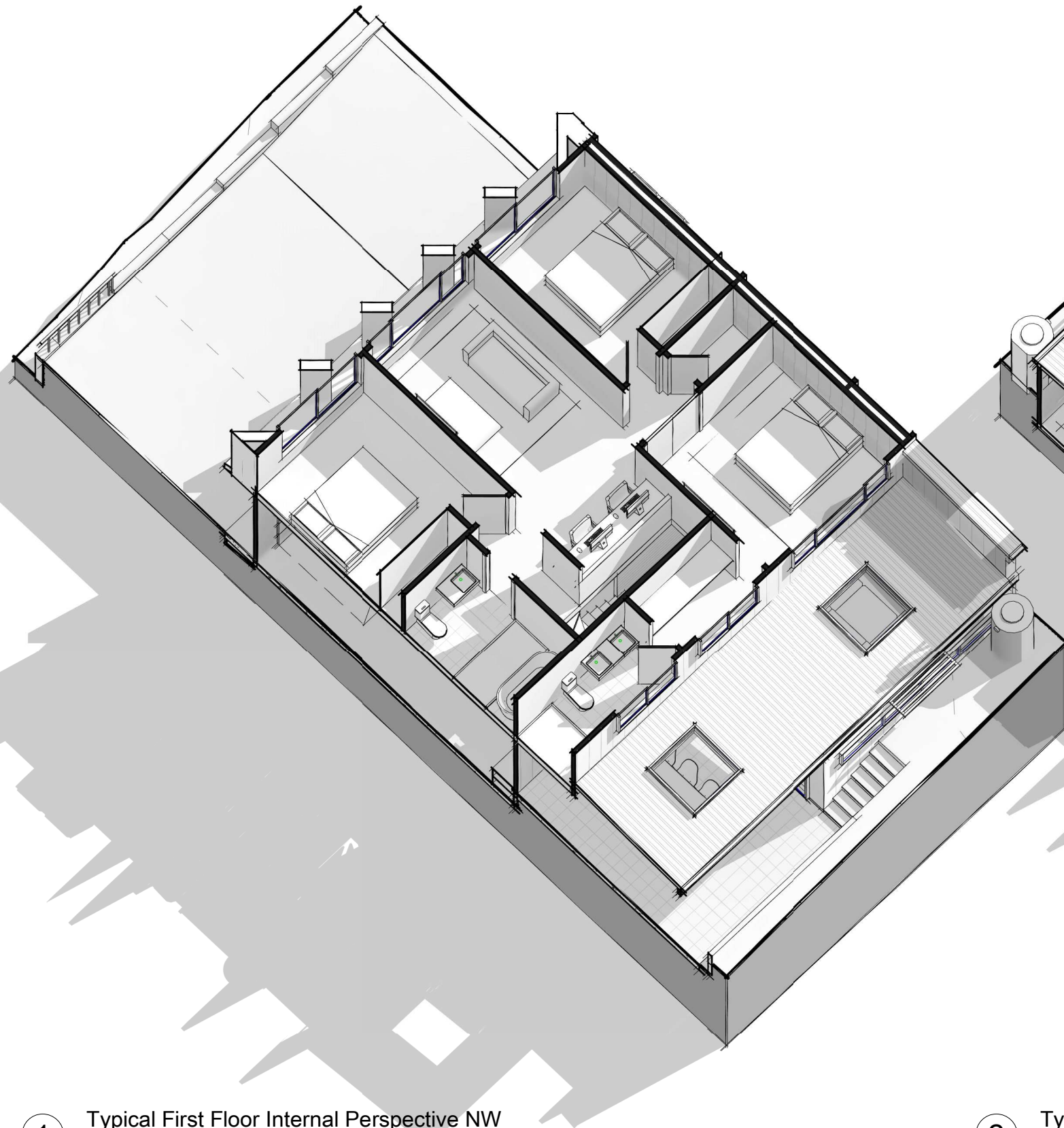
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SHEET:	FIRST FLOOR PLAN - U5			ISSUE:
PROPOSAL:	MULIT DWELLING DEVLOPMENT AND STRATA TITLE SUBDIVSION	DATE:	05/07/2023	DA-004
CLIENT:	CONSTRUCTION LEGACY	SCALE @ A3:	1 : 100	
ADDRESS:	148-150 FARBOROUGH ROAD, FARBOROUGH HEIGHTS 2526 LOT/SECTION/PLAN NO: 67 /-DP19224	PROJECT NO:	10STAR-223	SHEET:
LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA	12



1 Typical First Floor Internal Perspective NW

2 Typical First Floor Internal Perspective SE



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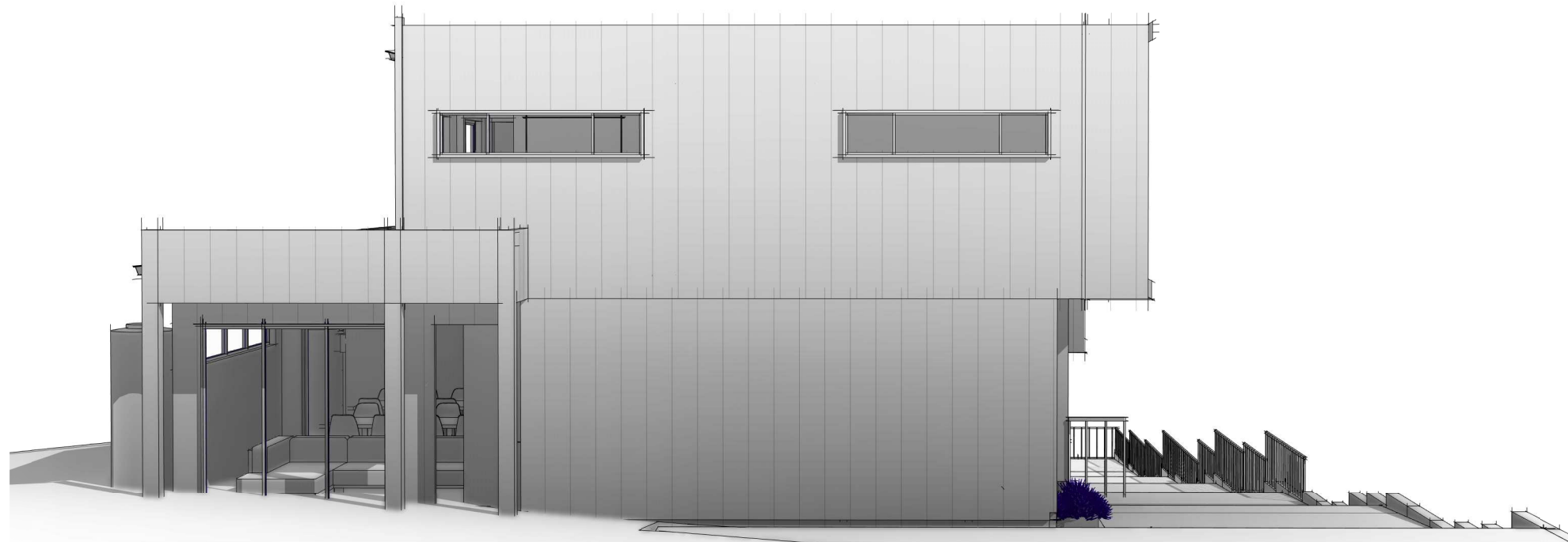
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SHEET:	TYPICAL FIRST FLOOR 3D PERSPECTIVE			ISSUE:
PROPOSAL:	MULTI DWELLING DEVELOPMENT AND STRATA TITLE SUBDIVISION	DATE:	05/07/2023	DA-004
CLIENT:	CONSTRUCTION LEGACY	SCALE @ A3:		
ADDRESS:	148-150 FARBOROUGH ROAD, FARBOROUGH HEIGHTS 2526 LOT/SECTION/PLAN NO: 67 /-DP19224	PROJECT NO:	10STAR-223	SHEET:
LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA	13



1 South Elevation
1 : 100



2 South Perspective

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SHEET:	SOUTH ELEVATION		ISSUE:
PROPOSAL:	MULIT DWELLING DEVLOPMENT AND STRATA TITLE SUBDIVSION	DATE:	05/07/2023
CLIENT:	CONSTRUCTION LEGACY	SCALE @ A3:	1 : 100
ADDRESS:	148-150 FARBOROUGH ROAD, FARBOROUGH HEIGHTS 2526 LOT/SECTION/PLAN NO: 67 I-DP19224	PROJECT NO:	10STAR-223
LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA
			SHEET:
			14



1 East Elevation
1 : 200



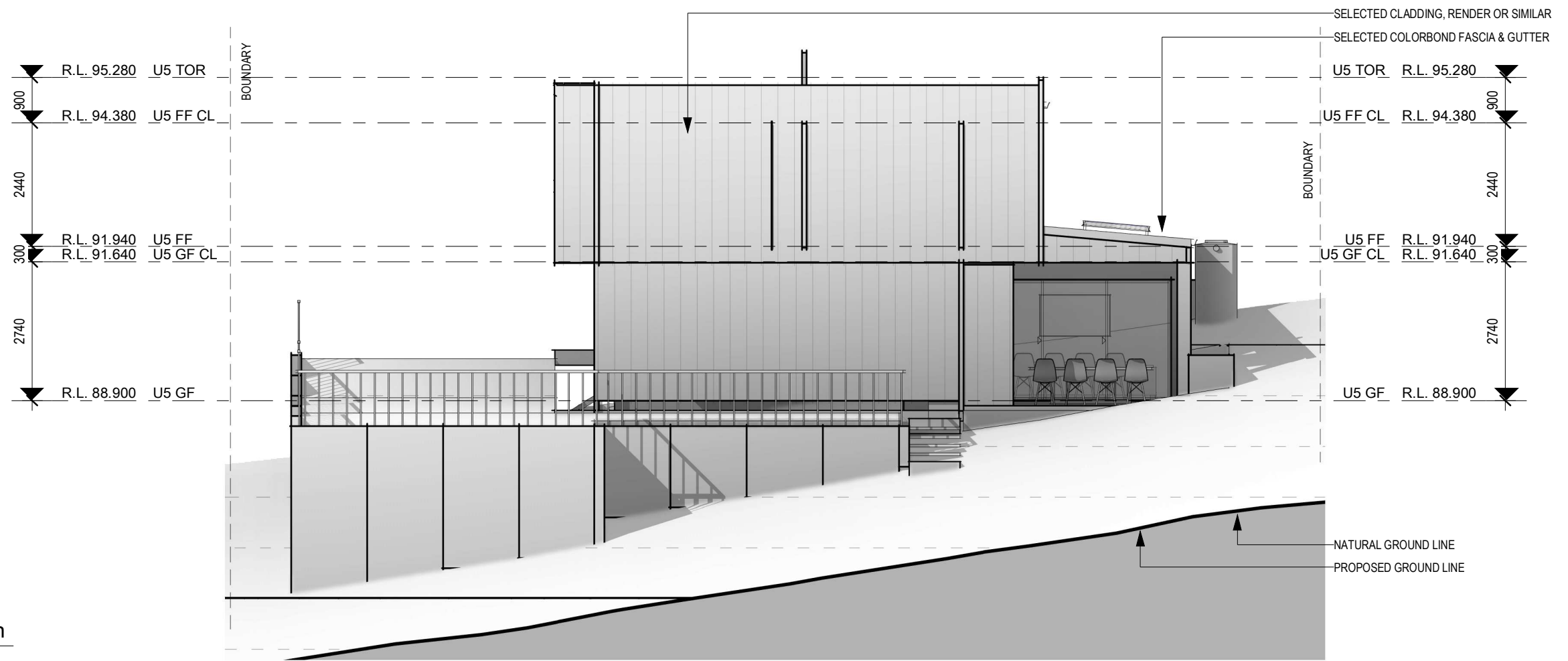
2 East 3D Perspective


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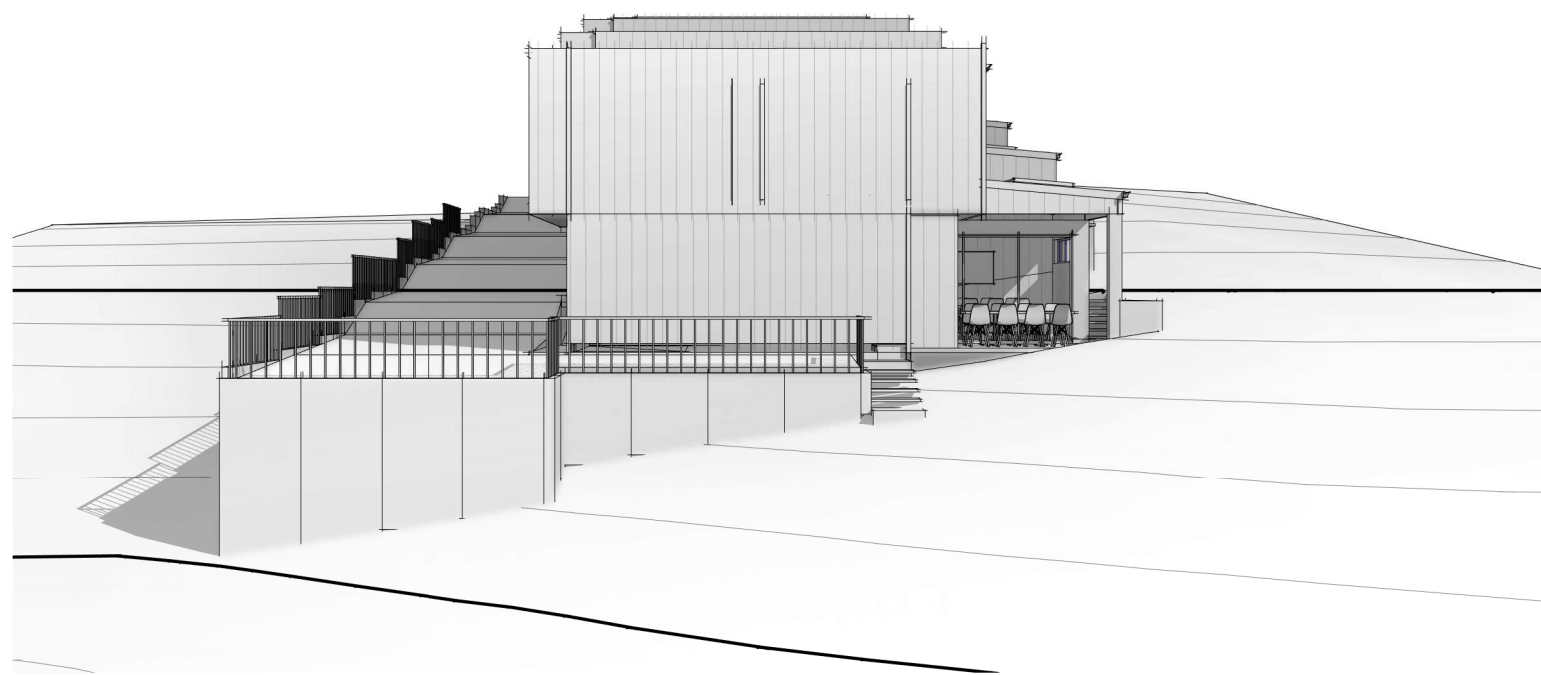
No.	Description	Date

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SHEET:	EAST ELEVATION			ISSUE:
PROPOSAL:	MULTI DWELLING DEVELOPMENT AND STRATA TITLE SUBDIVISION	DATE:	05/07/2023	DA-004
CLIENT:	CONSTRUCTION LEGACY	SCALE @ A3:	1 : 200	
ADDRESS:	148-150 FARMBOROUGH ROAD, FARMBOROUGH HEIGHTS 2526 LOT/SECTION/PLAN NO: 67 /-DP19224	PROJECT NO:	10STAR-223	SHEET:
LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA	15



1 North Elevation
1 : 100



2 North Perspective


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SHEET:	NORTH ELEVATION			ISSUE:
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LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA	16



1 West Elevation
1 : 200



2 West Perspective


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SHEET:	WEST ELEVATION			ISSUE:
PROPOSAL:	MULTI DWELLING DEVELOPMENT AND STRATA TITLE SUBDIVISION	DATE:	05/07/2023	DA-004
CLIENT:	CONSTRUCTION LEGACY	SCALE @ A3:	1 : 200	
ADDRESS:	148-150 FARBOROUGH ROAD, FARBOROUGH HEIGHTS 2526 LOT/SECTION/PLAN NO: 67 /-DP19224	PROJECT NO:	10STAR-223	SHEET:
LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA	17



1 East Elevation - U1-U2
1 : 100



2 West Elevation - U1-U2
1 : 100

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SHEET:	U1 AND U2 ELEVATION	ISSUE:	
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LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	SHEET:	18
		DRAWN BY:	M.LISICA



1 East Elevation - U3-U4
1 : 100



2 West Elevation - U3-U4
1 : 100

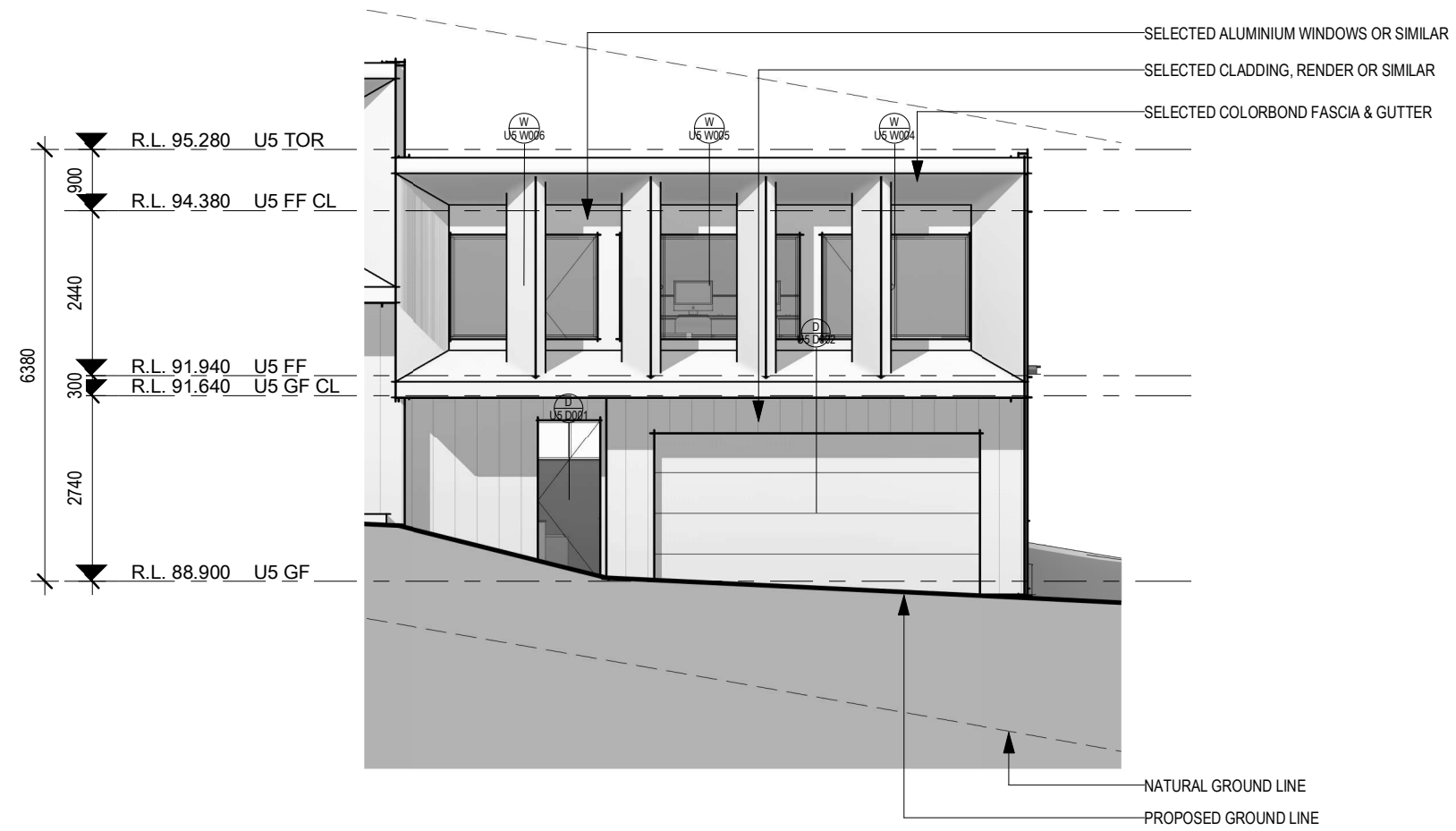
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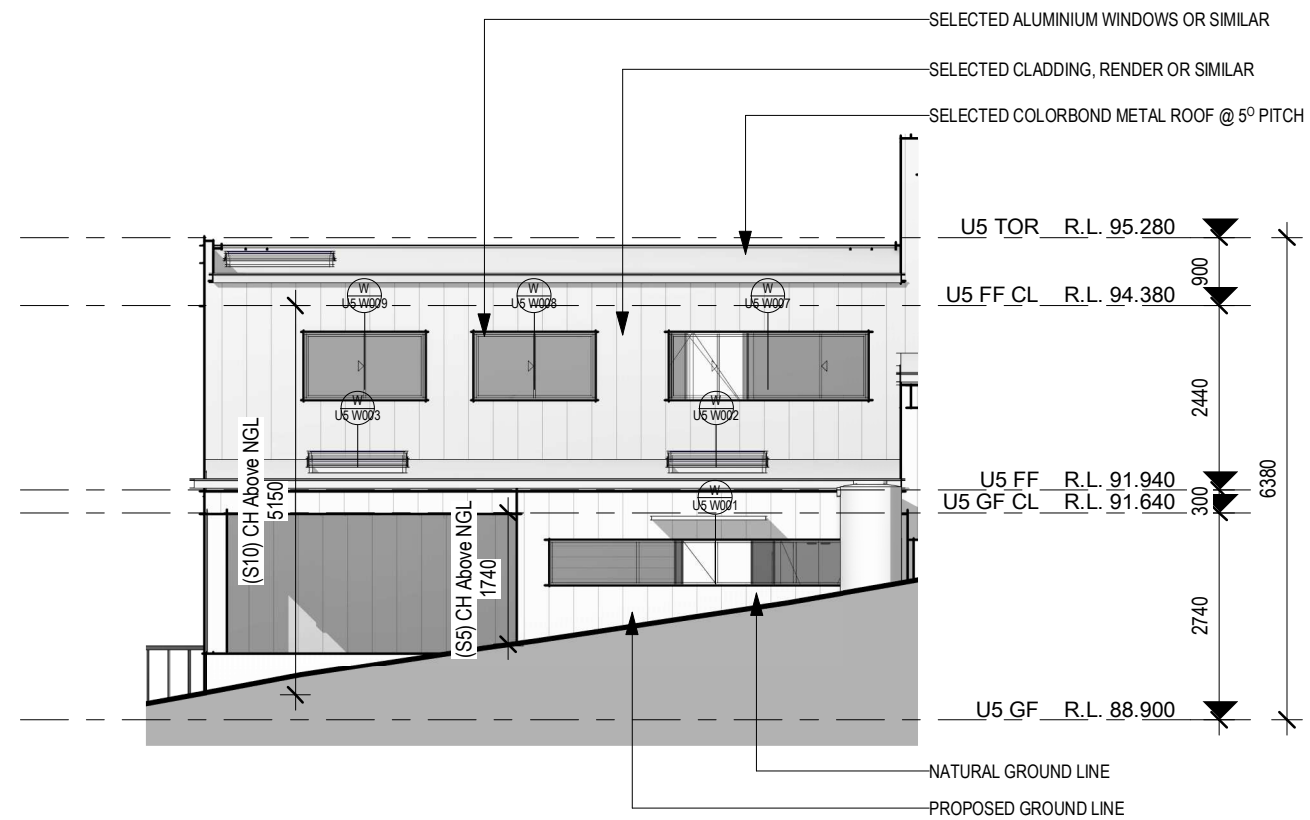
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SHEET:	U3 AND U4 ELEVATION		ISSUE:
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LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA
			SHEET:
			19



1 East Elevation - U5
1 : 100



2 West Elevation - U5
1 : 100

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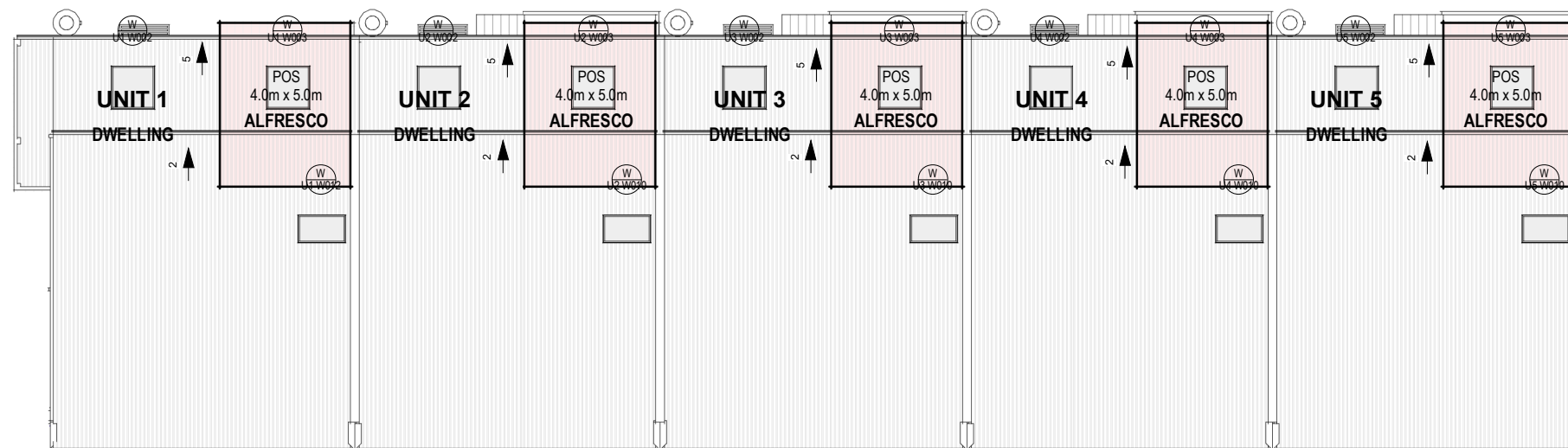
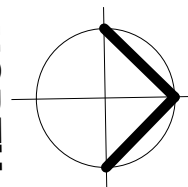
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SHEET:	U5 ELEVATION			ISSUE:
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NORTH



1 Roof Plan
1 : 200

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SHEET:	ROOF PLAN			ISSUE:
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ADDRESS:	148-150 FARBOROUGH ROAD, FARBOROUGH HEIGHTS 2526 LOT/SECTION/PLAN NO: 67 /-DP19224	PROJECT NO:	10STAR-223	SHEET:
LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA	21

Door Schedule			
Mark	Description	Width	Height
U1 D001	Aluminum Hinged Door	920	2400
U1 D002	Panel Lift Garage Door	4800	2400
U1 D003	Timber Cavity Slider Door	720	2400
U1 D004	Timber Cavity Slider Door	720	2400
U1 D005	Aluminum Hinged Door	920	2400
U1 D006	Aluminum Stacking Patio Door	2410	2400
U1 D007	Aluminum Stacking Patio Door	3810	2400
U1 D008	Timber Cavity Slider Door	720	2100
U1 D009	Timber Hinged Door	820	2100
U1 D010	Timber Hinged Door	820	2100
U1 D011	Timber Hinged Door	720	2100
U1 D012	Timber Hinged Double Door	1440	2100
U1 D013	Permanent Opening	720	2100
U1 D014	Timber Hinged Door	720	2100
U2 D001	Aluminum Hinged Door	920	2400
U2 D002	Panel Lift Garage Door	4800	2400
U2 D003	Timber Cavity Slider Door	720	2400
U2 D004	Timber Cavity Slider Door	720	2400
U2 D005	Aluminum Stacking Patio Door	3810	2400
U2 D006	Timber Cavity Slider Door	720	2100
U2 D007	Timber Hinged Door	820	2100
U2 D008	Timber Hinged Door	820	2100
U2 D009	Timber Hinged Door	720	2100
U2 D010	Timber Hinged Double Door	1440	2100
U2 D011	Permanent Opening	720	2100
U2 D012	Timber Hinged Door	720	2100
U3 D001	Aluminum Hinged Door	920	2400
U3 D002	Panel Lift Garage Door	4800	2400
U3 D003	Timber Cavity Slider Door	720	2400
U3 D004	Timber Cavity Slider Door	720	2400
U3 D005	Aluminum Stacking Patio Door	3810	2400
U3 D006	Timber Cavity Slider Door	720	2100
U3 D007	Timber Hinged Door	820	2100
U3 D008	Timber Hinged Door	820	2100
U3 D009	Timber Hinged Door	720	2100
U3 D010	Timber Hinged Double Door	1440	2100
U3 D011	Permanent Opening	720	2100
U3 D012	Timber Hinged Door	720	2100
U4 D001	Aluminum Hinged Door	920	2400
U4 D002	Panel Lift Garage Door	4800	2400
U4 D003	Timber Cavity Slider Door	720	2400
U4 D004	Timber Cavity Slider Door	720	2400
U4 D005	Aluminum Stacking Patio Door	3810	2400
U4 D006	Timber Cavity Slider Door	720	2100
U4 D007	Timber Hinged Door	820	2100
U4 D008	Timber Hinged Door	820	2100
U4 D009	Timber Hinged Door	720	2100
U4 D010	Timber Hinged Double Door	1440	2100
U4 D011	Permanent Opening	720	2100
U4 D012	Timber Hinged Door	720	2100
U5 D001	Aluminum Hinged Door	920	2400
U5 D002	Panel Lift Garage Door	4800	2400
U5 D003	Timber Cavity Slider Door	720	2400
U5 D004	Timber Cavity Slider Door	720	2400

Door Schedule			
Mark	Description	Width	Height
U5 D005	Aluminum Stacking Patio Door	3810	2400
U5 D006	Timber Cavity Slider Door	720	2100
U5 D007	Timber Hinged Door	820	2100
U5 D008	Timber Hinged Door	820	2100
U5 D009	Timber Hinged Door	720	2100
U5 D010	Timber Hinged Double Door	1440	2100
U5 D011	Permanent Opening	720	2100
U5 D012	Timber Hinged Door	720	2100

Window Schedule				
Mark	Description	Width	Height	Head Height
U1 W001	Aluminum Awning Window	4400	600	2400
U1 W002	Aluminum Fixed Skylight	1275	1275	
U1 W003	Aluminum Fixed Skylight	1275	1275	
U1 W004	Aluminum Sliding Window	2170	1540	2100
U1 W005	Aluminum Sliding Window	2650	1540	2100
U1 W006	Aluminum Sliding Window	2170	1540	2100
U1 W007	Aluminum Sliding Window	2650	900	2100
U1 W008	Aluminum Sliding Window	1610	900	2100
U1 W009	Aluminum Sliding Window	1610	900	2100
U1 W010	Aluminum Sliding Window	2650	600	2100
U1 W011	Aluminum Sliding Window	2650	600	2100
U1 W012	Aluminum Fixed Skylight	1400	800	
U2 W001	Aluminum Awning Window	4400	600	2400
U2 W002	Aluminum Fixed Skylight	1275	1275	
U2 W003	Aluminum Fixed Skylight	1275	1275	
U2 W004	Aluminum Sliding Window	2170	1540	2100
U2 W005	Aluminum Sliding Window	2650	1540	2100
U2 W006	Aluminum Sliding Window	2170	1540	2100
U2 W007	Aluminum Sliding Window	2650	900	2100
U2 W008	Aluminum Sliding Window	1610	900	2100
U2 W009	Aluminum Sliding Window	1610	900	2100
U2 W010	Aluminum Fixed Skylight	1400	800	
U3 W001	Aluminum Awning Window	4400	600	2400
U3 W002	Aluminum Fixed Skylight	1275	1275	
U3 W003	Aluminum Fixed Skylight	1275	1275	
U3 W004	Aluminum Sliding Window	2170	1540	2100
U3 W005	Aluminum Sliding Window	2650	1540	2100
U3 W006	Aluminum Sliding Window	2170	1540	2100
U3 W007	Aluminum Sliding Window	2650	900	2100
U3 W008	Aluminum Sliding Window	1610	900	2100
U3 W009	Aluminum Sliding Window	1610	900	2100
U3 W010	Aluminum Fixed Skylight	1400	800	
U4 W001	Aluminum Awning Window	4400	600	2400
U4 W002	Aluminum Fixed Skylight	1275	1275	
U4 W003	Aluminum Fixed Skylight	1275	1275	
U4 W004	Aluminum Sliding Window	2170	1540	2100
U4 W005	Aluminum Sliding Window	2650	1540	2100
U4 W006	Aluminum Sliding Window	2170	1540	2100
U4 W007	Aluminum Sliding Window	2650	900	2100
U4 W008	Aluminum Sliding Window	1610	900	2100
U4 W009	Aluminum Sliding Window	1610	900	2100
U4 W010	Aluminum Fixed Skylight	1400	800	

Window Schedule				
Mark	Description	Width	Height	Head Height
U5 W001	Aluminum Awning Window	4400	600	2400
U5 W002	Aluminum Fixed Skylight	1275	1275	
U5 W003	Aluminum Fixed Skylight	1275	1275	
U5 W004	Aluminum Sliding Window	2170	1540	2100
U5 W005	Aluminum Sliding Window	2650	1540	2100
U5 W006	Aluminum Sliding Window	2170	1540	2100
U5 W007	Aluminum Sliding Window	2650	900	2100
U5 W008	Aluminum Sliding Window	1610	900	2100
U5 W009	Aluminum Sliding Window	1610	900	2100
U5 W010	Aluminum Fixed Skylight	1400	800	



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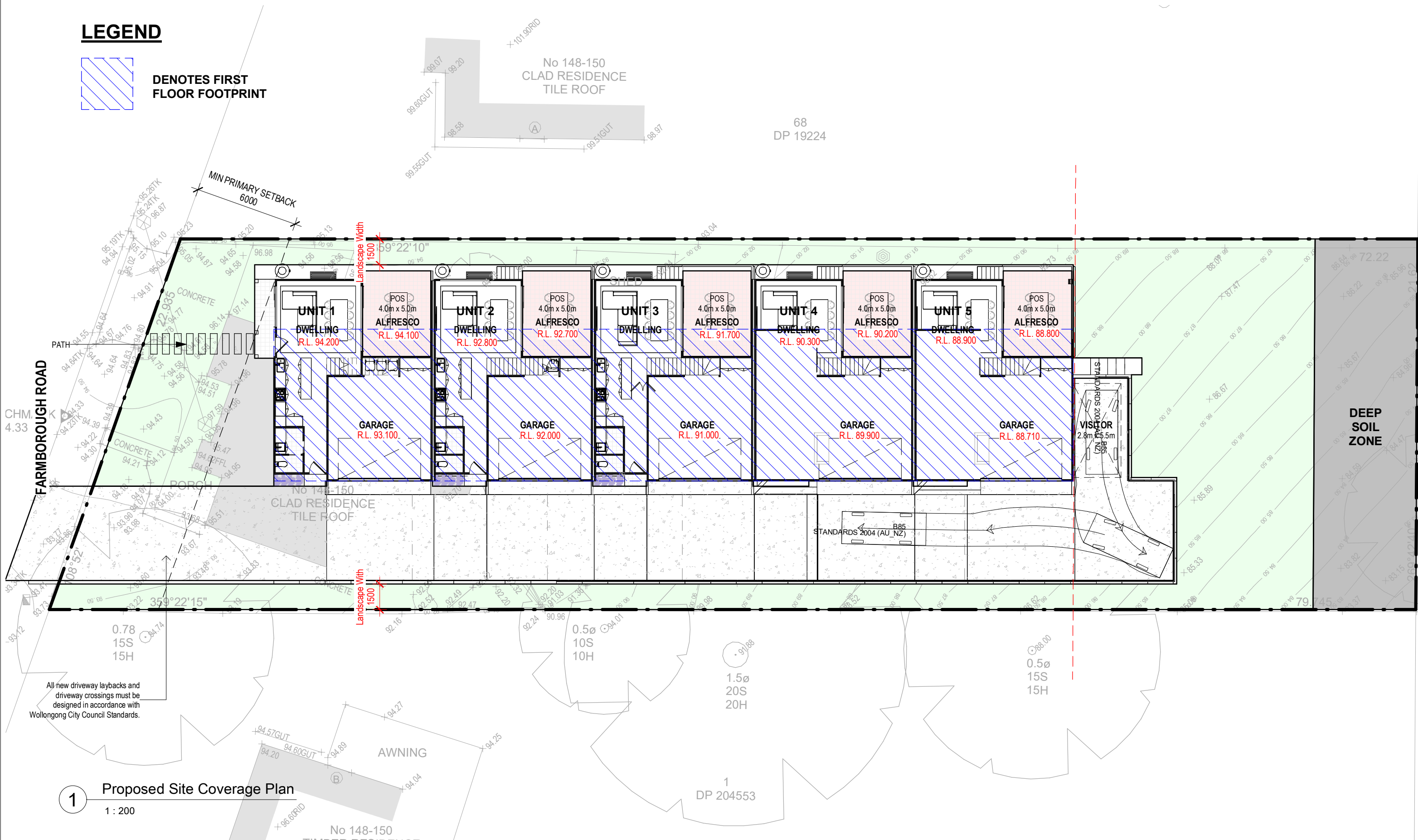
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SHEET:	SCHEDULES		ISSUE:	
PROPOSAL:	MULIT DWELLING DEVLOPMENT AND STRATA TITLE SUBDIVSION	DATE:	05/07/2023	DA-004
CLIENT:	CONSTRUCTION LEGACY	SCALE @ A3:		
ADDRESS:	148-150 FARBOROUGH ROAD, FARBOROUGH HEIGHTS 2526 LOT/SECTION/PLAN NO: 67 /-DP19224	PROJECT NO:	10STAR-223	SHEET:
LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA	22

LEGEND

 DENOTES FIRST FLOOR FOOTPRINT



1 Proposed Site Coverage Plan
1 : 200

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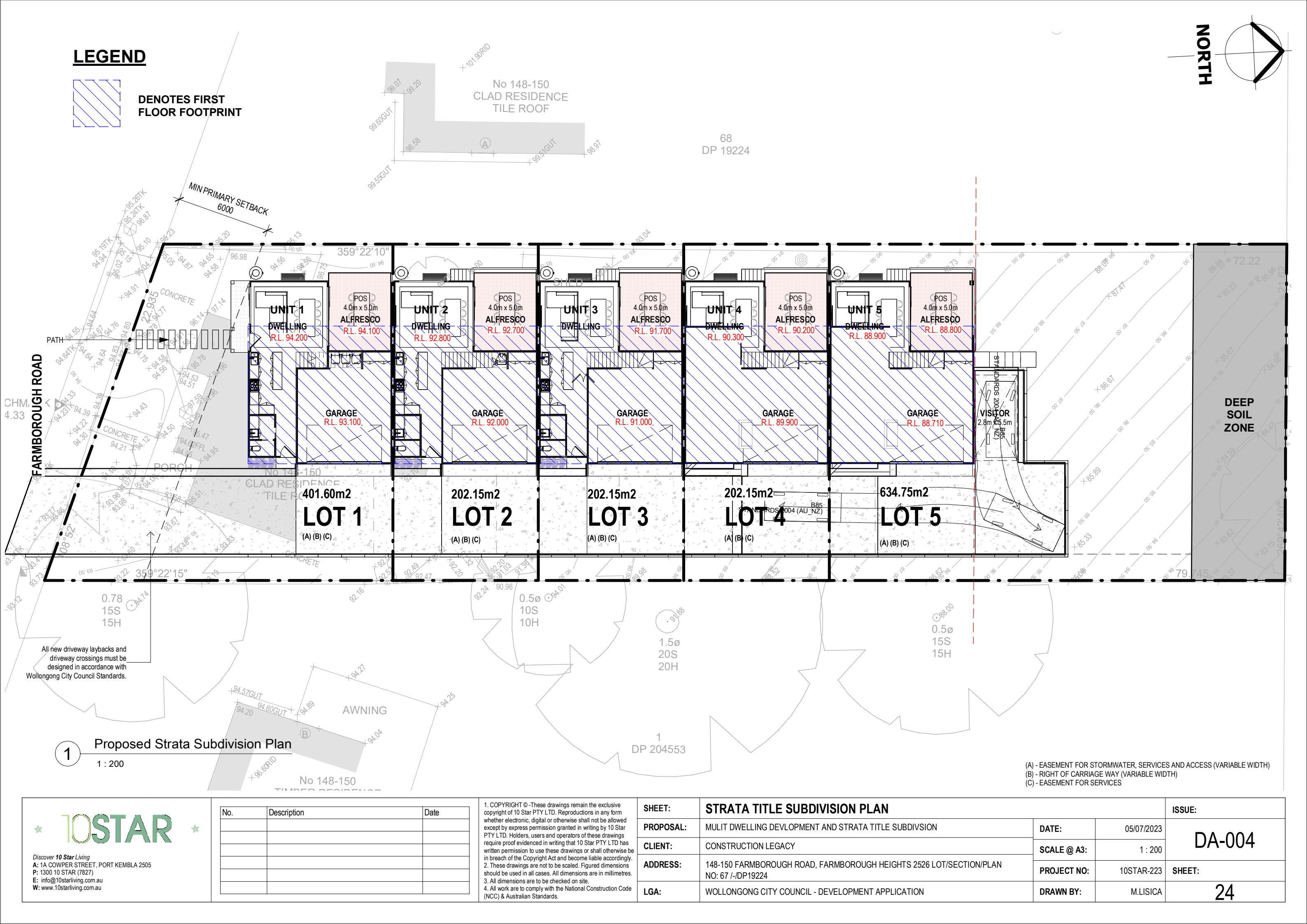
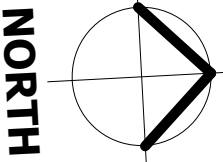
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SHEET:	SITE COVERAGE PLAN		ISSUE:	
PROPOSAL:	MULTI DWELLING DEVELOPMENT AND STRATA TITLE SUBDIVISION	DATE:	05/07/2023	DA-004
CLIENT:	CONSTRUCTION LEGACY	SCALE @ A3:	1 : 200	
ADDRESS:	148-150 FARMBOROUGH ROAD, FARMBOROUGH HEIGHTS 2526 LOT/SECTION/PLAN NO: 67 / -DP19224	PROJECT NO:	10STAR-223	SHEET:
LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA	23

LEGEND

 DENOTES FIRST FLOOR FOOTPRINT



FARMBOROUGH ROAD

All new driveway laybacks and driveway crossings must be designed in accordance with Wollongong City Council Standards.

1 Proposed Strata Subdivision Plan
1 : 200

(A) - EASEMENT FOR STORMWATER, SERVICES AND ACCESS (VARIABLE WIDTH)
(B) - RIGHT OF CARRIAGE WAY (VARIABLE WIDTH)
(C) - EASEMENT FOR SERVICES

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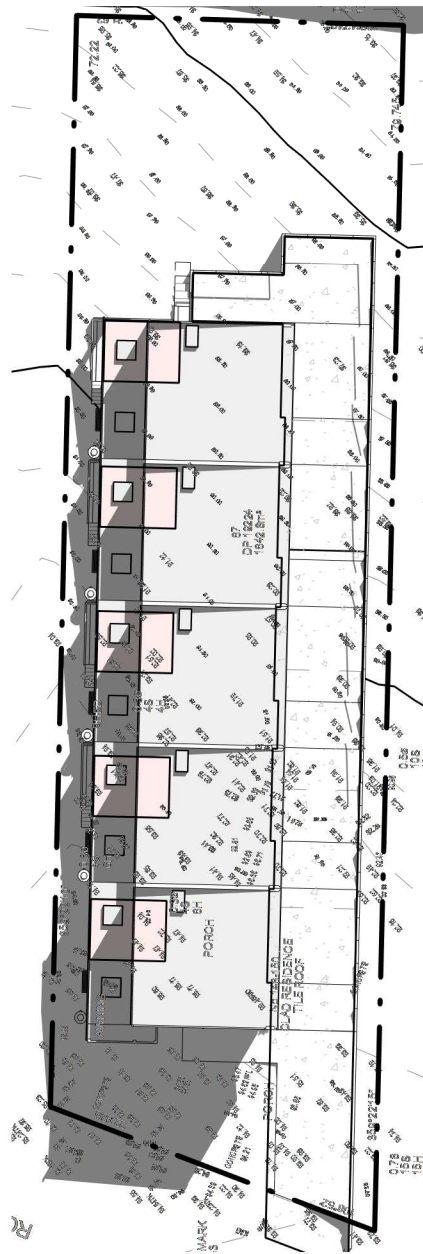
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SHEET:	STRATA TITLE SUBDIVISION PLAN		ISSUE:
PROPOSAL:	MULIT DWELLING DEVLOPMENT AND STRATA TITLE SUBDIVSION	DATE:	05/07/2023
CLIENT:	CONSTRUCTION LEGACY	SCALE @ A3:	1 : 200
ADDRESS:	148-150 FARMBOROUGH ROAD, FARMBOROUGH HEIGHTS 2526 LOT/SECTION/PLAN NO: 67 I-DP19224	PROJECT NO:	10STAR-223
LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA
			SHEET:
			24



1 001 - Shadow Diagram 9am
1 : 500



2 002 - Shadow Diagram 10am
1 : 500



3 003 - Shadow Diagram 11am
1 : 500



4 004 - Shadow Diagram 12pm
1 : 500



NOTE:
At least 50% of the private open areas of adjoining residential properties have received at least 3 hours of sunlight on the 21st June during the following hours of 9am-3pm

Areas achieving at least 50% of sunlight to private open areas:

9am: No
10am: No
11am: No
12pm: Yes Unit 1-5
1pm: Yes Unit 1-5
2pm: Yes Unit 1-5
3pm: Yes Unit 1-5

Therefore both Units receive a minimum of 3 hours of direct sunlight to their private open space area.

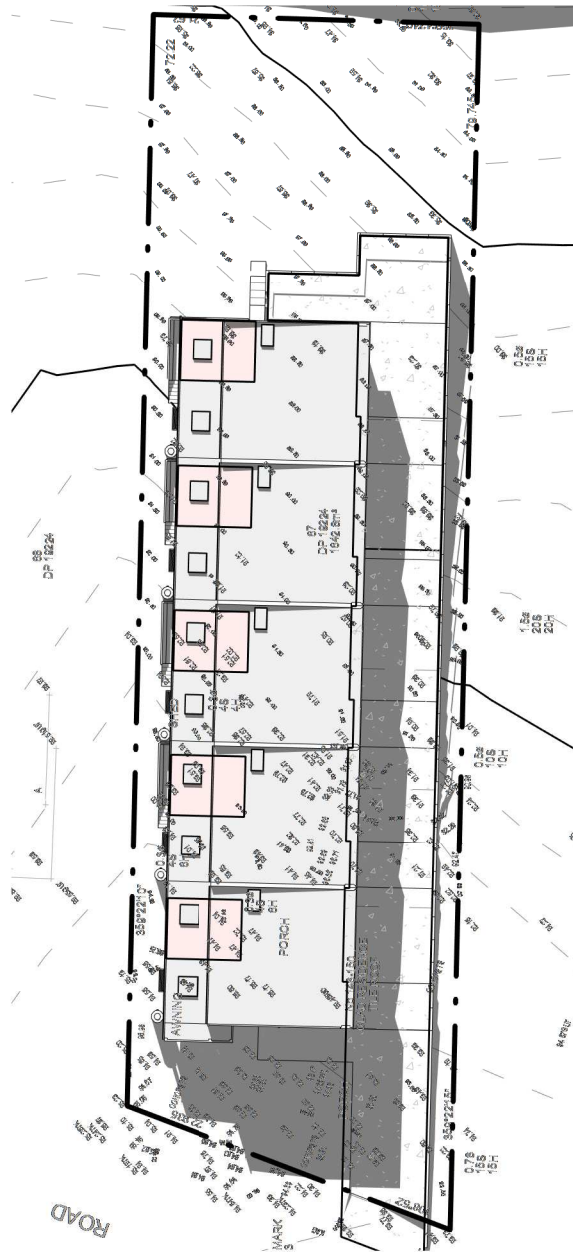
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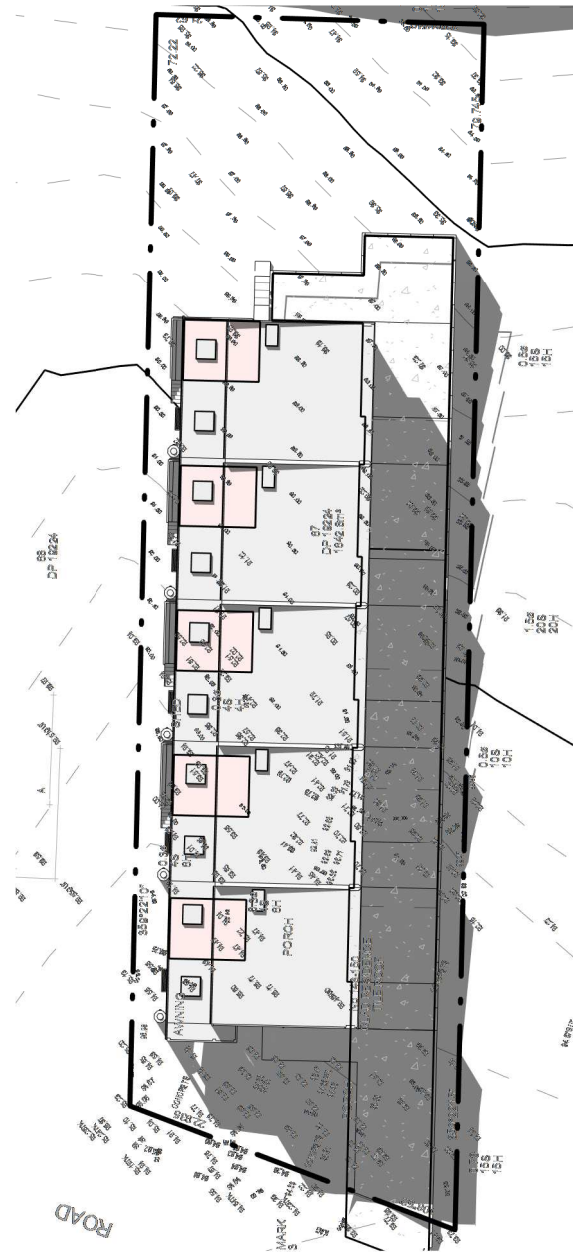
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SHEET:	SHADOW DIAGRAM			ISSUE:
PROPOSAL:	MULTI DWELLING DEVELOPMENT AND STRATA TITLE SUBDIVISION	DATE:	05/07/2023	DA-004
CLIENT:	CONSTRUCTION LEGACY	SCALE @ A3:	1 : 500	
ADDRESS:	148-150 FARMBOROUGH ROAD, FARMBOROUGH HEIGHTS 2526 LOT/SECTION/PLAN NO: 67 /-DP19224	PROJECT NO:	10STAR-223	SHEET:
LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA	25



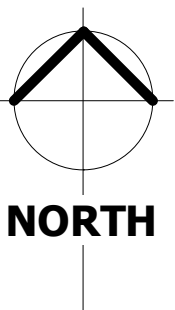
1 005 - Shadow Diagram 1pm
1 : 500



2 006 - Shadow Diagram 2pm
1 : 500



3 007 - Shadow Diagram 3pm
1 : 500



NOTE:
At least 50% of the private open areas of adjoining residential properties have received at least 3 hours of sunlight on the 21st June during the following hours of 9am-3pm

Areas achieving at least 50% of sunlight to private open areas:

9am: No
10am: No
11am: No
12pm: Yes Unit 1-5
1pm: Yes Unit 1-5
2pm: Yes Unit 1-5
3pm: Yes Unit 1-5

Therefore both Units receive a minimum of 3 hours of direct sunlight to their private open space area.

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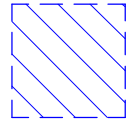
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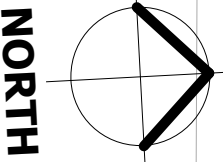
SHEET:	SHADOW DIAGRAM			ISSUE:
PROPOSAL:	MULTI DWELLING DEVELOPMENT AND STRATA TITLE SUBDIVISION	DATE:	05/07/2023	DA-004
CLIENT:	CONSTRUCTION LEGACY	SCALE @ A3:	1 : 500	
ADDRESS:	148-150 FARMBOROUGH ROAD, FARMBOROUGH HEIGHTS 2526 LOT/SECTION/PLAN NO: 67 /-DP19224	PROJECT NO:	10STAR-223	SHEET:
LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA	26

LEGEND

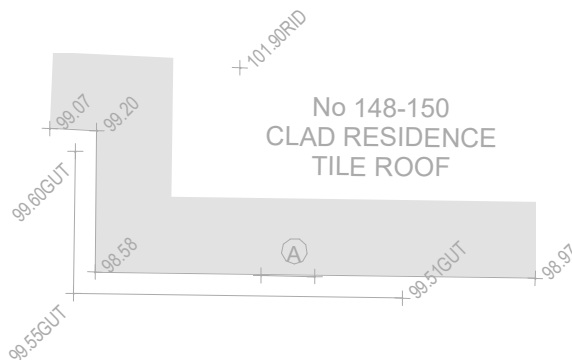


DENOTES FIRST FLOOR FOOTPRINT

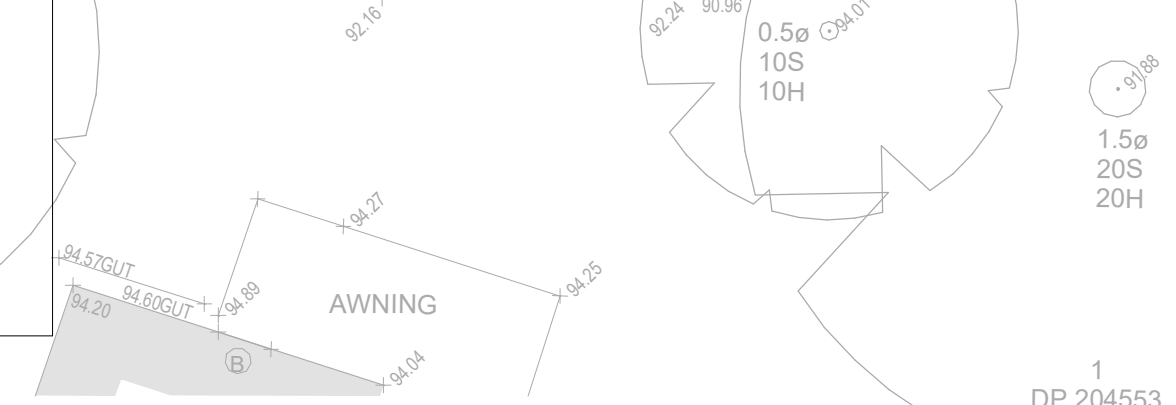
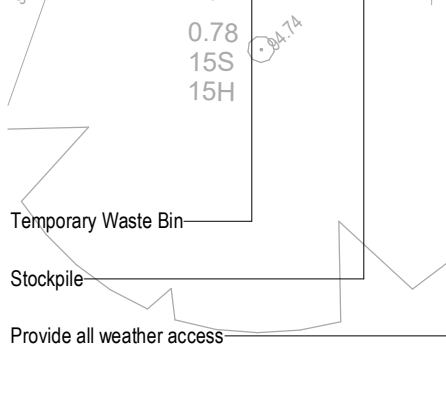
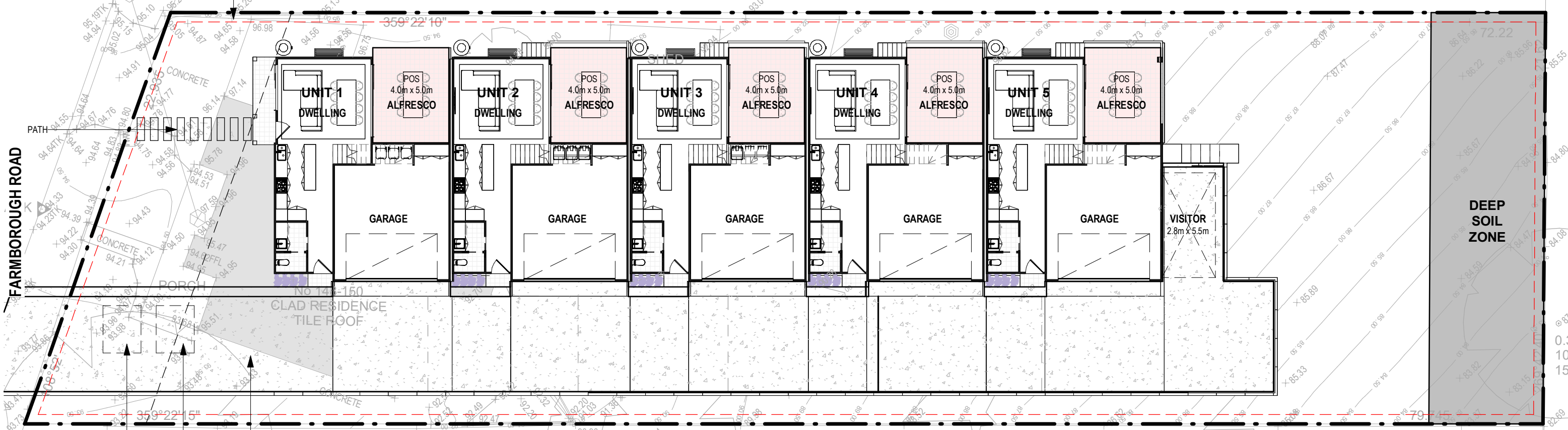
Provide Sediment Control Barrier as Needed



NORTH

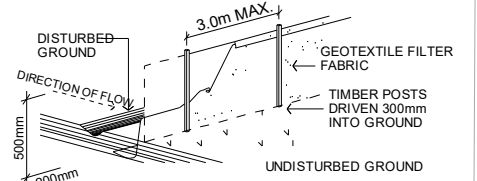


68
DP 19224



SOIL EROSION/SEDIMENT CONTROL

- SEDIMENT FABRIC SUCH AS TERRAAM 100, POLFELT TS 500, BIDIM U24, GEOFAB, ENVIROFENCE OR EQUIVALENT TO BE PROVIDED ON ALL BOUNDARIES AS REQUIRED.
- FABRIC IS ATTACHED TO A STRAND WIRE (ORDINARY FENCE WIRE) OR WIRE MESH (14 GAUGE AND 150MM X 150MM OPENING).
- THE LOWER END OF THE FABRIC AND MESH TO BE EMBEDDED 200MM INTO THE GROUND.
- FILTER CLOTH TO BE FASTENED SECURELY TO WIRE FENCE WITH TIES SPACED EVERY 600MM.
- GENERALLY FOLLOW THE CONTOUR OF THE LAND.
- WHEN 2 SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 150MM AND FOLDED OVER.
- POSTS HOLDING THE MESH ARE EITHER STEEL Y OR U TYPE OR 45-50MM HARDWOOD 900-1200MM LONG POSTS. THESE ARE TO BE SPACED 2-3M APART.
- STOCK PILES ARE TO BE SET UP WITH SEDIMENT CONTROL DEVICES ON THE LOWER SLOPE.
- TEMPORARY BARRIERS CONSTRUCTED FROM TIMBER, SYNTHETIC FABRICS, JUTE, STRAW BALES, BRUSH OR SIMILAR MATERIALS CAN BE USED TO CONTROL AIR CURRENTS AND BLOWING SOIL. THEY SHOULD BE PLACED AT RIGHT ANGLES TO THE PREVAILING WIND AND SPACED AT INTERVALS EQUIVALENT TO ABOUT 15 TIMES THEIR HEIGHT.



- SEDIMENT CONTROL NOTES**
1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
 2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
 3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
 4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
 5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
 6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
 7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROFEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

1 Site Waste Minimisation & Management Plan

1 : 200

No.	Description	Date

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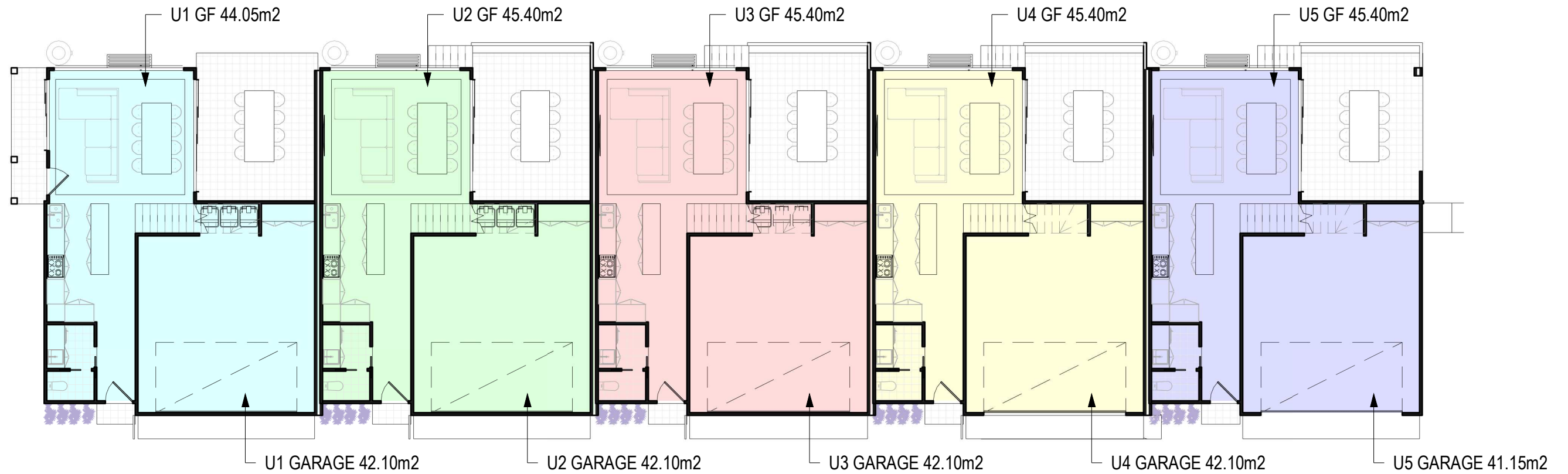
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PROPOSAL:	MULIT DWELLING DEVLOPMENT AND STRATA TITLE SUBDIVSION	DATE:	05/07/2023
CLIENT:	CONSTRUCTION LEGACY	SCALE @ A3:	1 : 200
ADDRESS:	148-150 FARMBOROUGH ROAD, FARMBOROUGH HEIGHTS 2526 LOT/SECTION/PLAN NO: 67 I-DP19224	PROJECT NO:	10STAR-223
LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA
		SHEET:	27

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Note:
Parti Wall included on all area calculations



1 Ground Floor Plan - U1-U5 FSR
1 : 150

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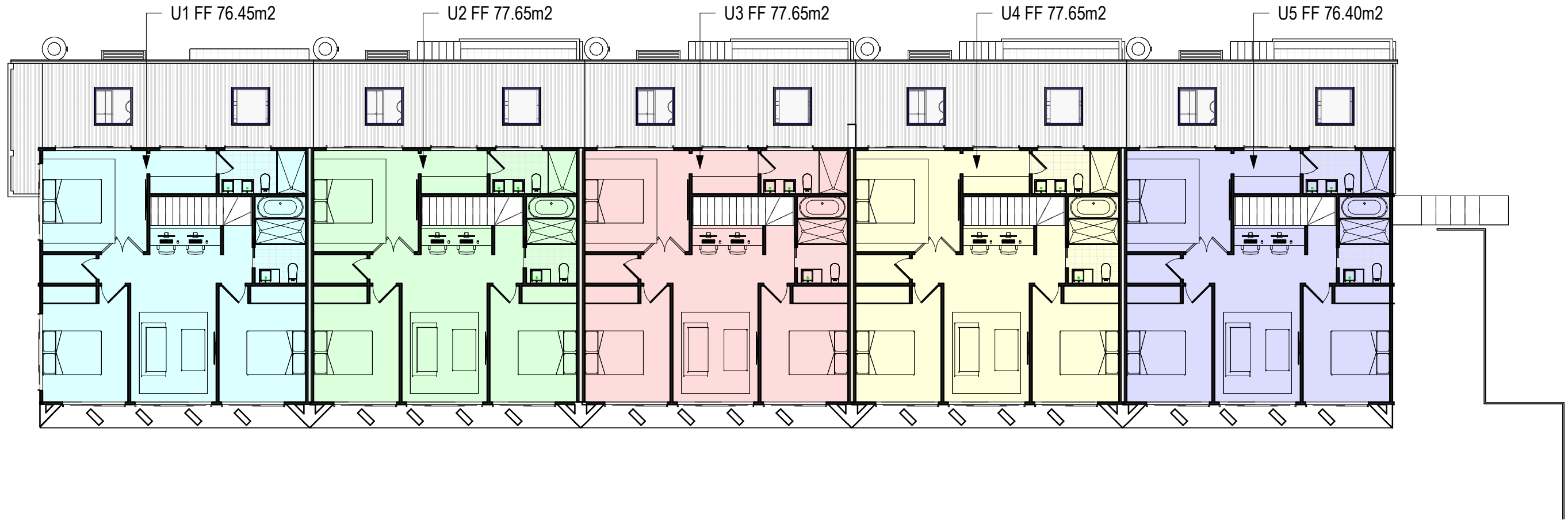
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SHEET:	FSR AREA CALCS			ISSUE:
PROPOSAL:	MULIT DWELLING DEVLOPMENT AND STRATA TITLE SUBDIVSION	DATE:	05/07/2023	DA-004
CLIENT:	CONSTRUCTION LEGACY	SCALE @ A3:	1 : 150	
ADDRESS:	148-150 FARBOROUGH ROAD, FARBOROUGH HEIGHTS 2526 LOT/SECTION/PLAN NO: 67 /-DP19224	PROJECT NO:	10STAR-223	SHEET:
LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA	28

Note:
Parti Wall included on all area calculations



1 First Floor Plan - U1-U5 FSR
1 : 150

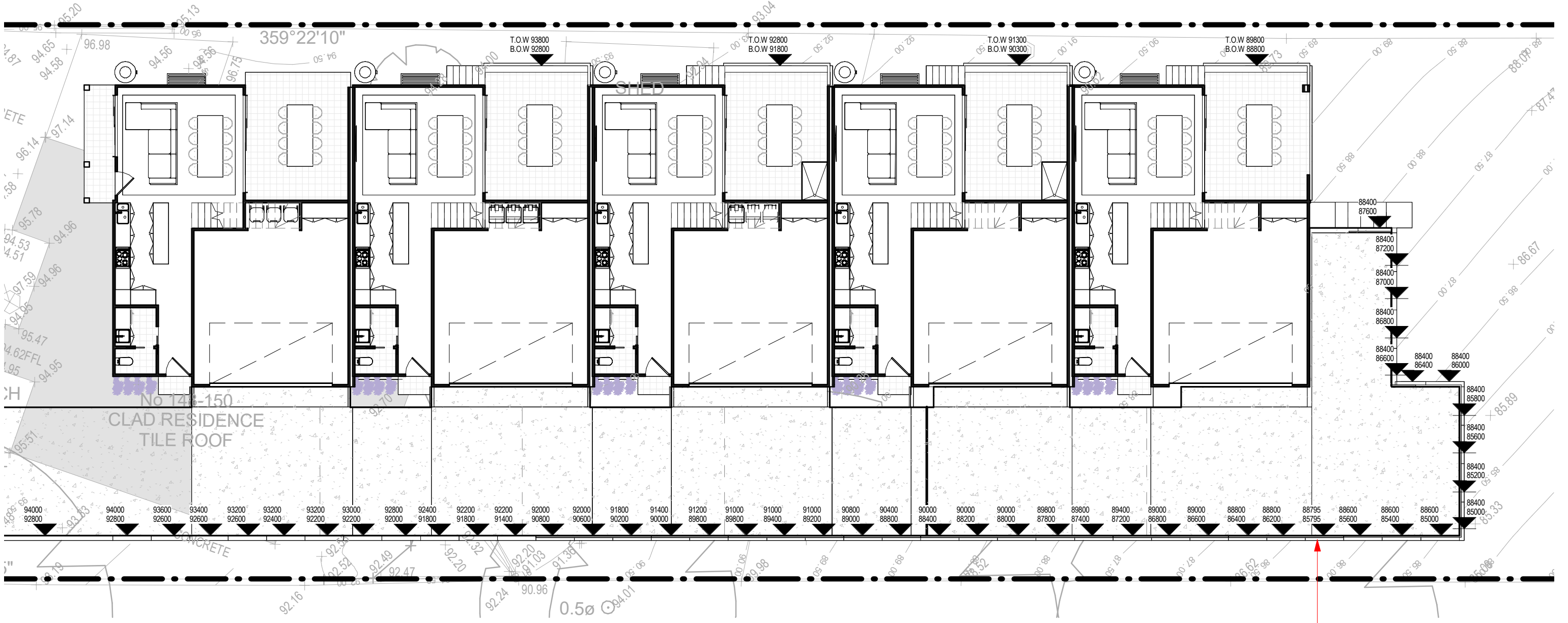
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ADDRESS:	148-150 FARBOROUGH ROAD, FARBOROUGH HEIGHTS 2526 LOT/SECTION/PLAN NO: 67 /-DP19224	PROJECT NO:	10STAR-223	SHEET:
LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA	29



1 Retaining Wall Plan
1 : 150

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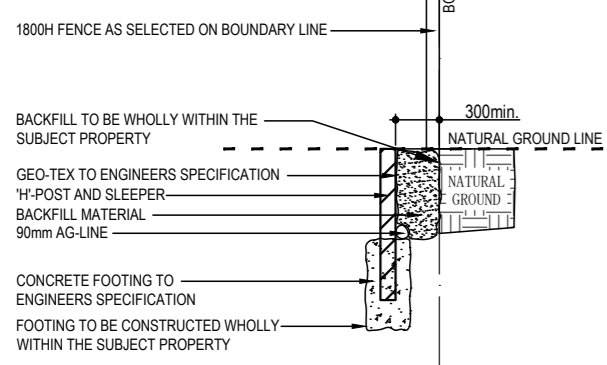
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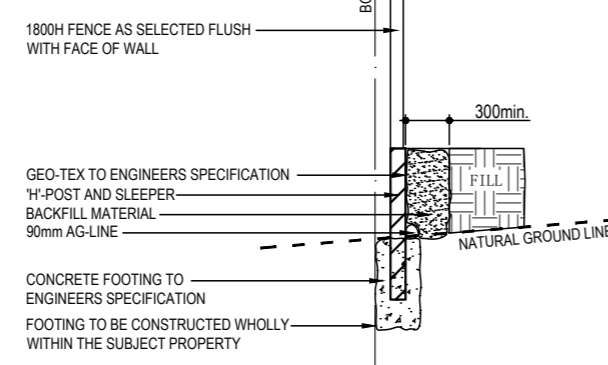
SHEET:	RETAINING WALL PLAN		ISSUE:
PROPOSAL:	MULTI DWELLING DEVELOPMENT AND STRATA TITLE SUBDIVISION	DATE:	05/07/2023
CLIENT:	CONSTRUCTION LEGACY	SCALE @ A3:	1 : 150
ADDRESS:	148-150 FARMBOROUGH ROAD, FARMBOROUGH HEIGHTS 2526 LOT/SECTION/PLAN NO: 67 /-DP19224	PROJECT NO:	10STAR-223
LGA:	WOLLONGONG CITY COUNCIL - DEVELOPMENT APPLICATION	DRAWN BY:	M.LISICA
			SHEET:
			31

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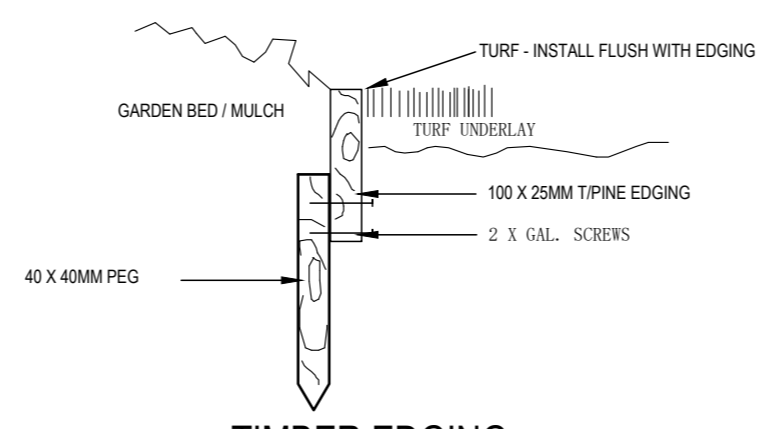


INDICATIVE CUT RETAINING WALL SECTION (NTS)

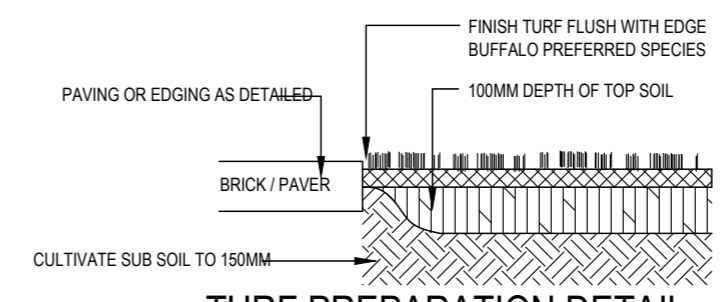
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INDICATIVE FILL RETAINING WALL SECTION (NTS)



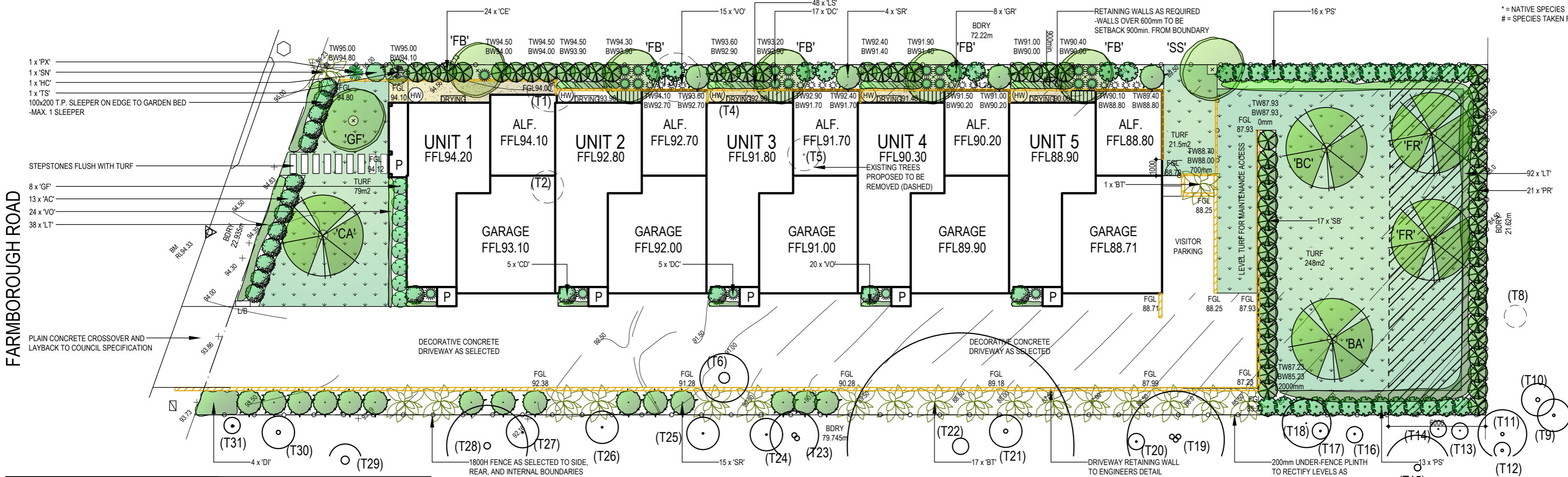
TIMBER EDGING (NTS)



TURF PREPARATION DETAIL (NTS)

PLANT SCHEDULE				
TREES	SYMBOL	QUANTITY	POT SIZE	HEIGHT
BRACHYCHITON ACERIFOLIUS (ILLAWARRA FLAME TREE)*#	BA	1	45L	8-12
BUCKINGHAMIA CELCISSIMA (IVORY CURL FLOWER)*#	BC	1	45L	8-12
CERATOPETALUM APETALUM (COACHWOOD)*#	CA	1	45L	8-12
FICUS CARICA 'BROWN TURKEY' (FIG)	FB	5	45L	4
FICUS RUBIGINOSA (PORT JACKSON FIG)*#	FR	2	45L	10-15
GLOCHIDION FERDIANDI (CHEESE TREE)*#	GF	1	45L	4-6
STENOCCARPUS SINUATUS (FIREWHEEL TREE)*#	SS	1	45L	4-6
NAME				
ACENA 'CHERRY SURPRISE' (LILLY PILLY)*	AC	13	200MM	HEDGE
BAMBUSA TEXTILIS 'GRACILIS' (CLUMPING BAMBOO)	BT	18	200MM	5
CALLISTEMON 'ENDEAVOUR' (BOTTLEBRUSH)*	CE	24	200MM	1.5
CORREA 'DUSKY BELLS' (NATIVE FUCHSIA)*	CD	5	200MM	1
DIANELLA CAERULEA (FLAX LILY)*	DC	22	150MM	0.5
DIETES IRIOIDES (EVERGREEN IRIS)	DI	4	150MM	1
GARDENIA 'FLORIDA' (GARDENIA)	GF	8	200MM	1
GREVILLEA 'ROBYN GORDON' (GREVILLEA)*	GR	8	200MM	1.5
HEBE 'COCONUT ICE' (HEBE)	HC	1	200MM	1
LIRIOPE 'SAMANTHA' (LIRIOPE)	LS	48	150MM	0.3
LOMANDRA 'TANUKA' (MAT RUSH)*	LT	130	150MM	0.5
PHILODENDRON 'XANADU' (PHILODENDRON)	PX	1	200MM	0.5
PHOTINIA GLABRA 'RUBENS' (PHOTINIA)	PR	21	200MM	3
PITTIOSPORUM 'SILVER SHEEN' (PITTIOSPORUM)	PS	29	200MM	4
STRELITZIA NICOLAI (GIANT BIRD OF PARADISE)	SN	1	200MM	3
SYZYGIUM 'BUSH XMAS' (LILLY PILLY)*	SB	17	200MM	HEDGE
SYZYGIUM 'RESILIENCE' (LILLY PILLY)*	SR	19	200MM	3
TELOPEA SPECIOSISSIMA (WARATAH)*	TS	1	200MM	2
VIOLA ODORATA (SWEET VIOLET)	VO	59	150MM	0.2

* = NATIVE SPECIES
= SPECIES TAKEN FROM WOLLONGONG DCP2009 - PART E6 "LANDSCAPING"



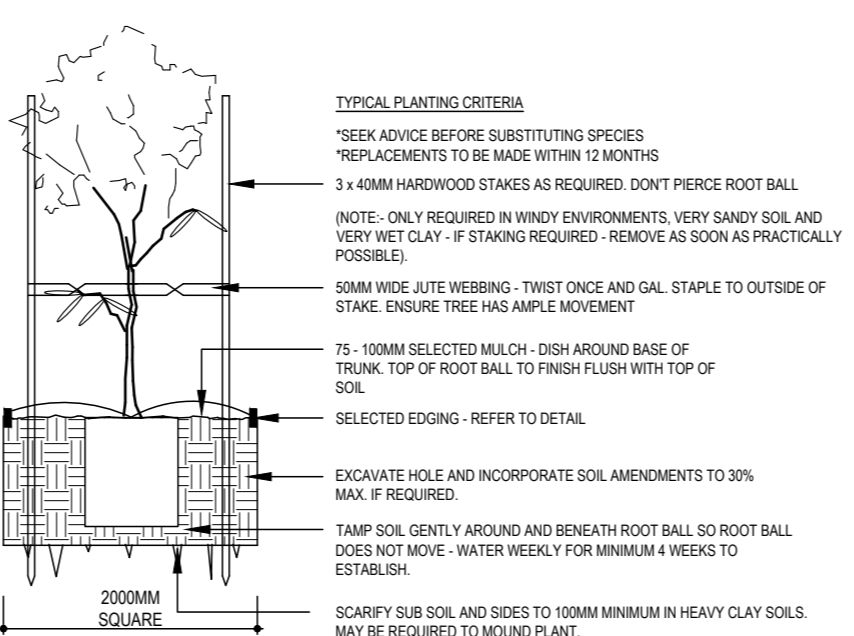
LEGEND	
	HATCH DENOTING DEEP SOIL AREAS
	ETW20.11 = EXISTING TOP OF WALL
	EBW20.00 = EXISTING BOTTOM OF WALL
	TW20.11 = PROPOSED TOP OF WALL
	BW20.00 = PROPOSED BOTTOM OF WALL

- ### NOTES
- PRIOR TO COMMENCEMENT OF WORKS CLIENT SHALL VERIFY THAT CONTRACTORS ARE LICENSED AND INSURED TO CARRY OUT ALL WORKS.
 - LANDSCAPE CONTRACTOR TO CHECK CERTIFICATION AND STAMPED LANDSCAPE PLAN PRIOR TO WORKS COMMENCING.
 - CONTRACTOR TO LOCATE AND PROTECT ALL SERVICES PRIOR TO COMMENCEMENT OF WORKS. ALL SERVICE LIDS, PITS, AND VENTS ARE TO BE LEFT EXPOSED AND UNCOVERED BY LANDSCAPE WORKS. ON-SITE ADJUSTMENT OF SERVICES TO ACCOMMODATE LANDSCAPE WORKS SHALL BE WITH THE APPROVAL, AND AT THE DIRECTION, OF THE RELEVANT REGULATORY BODY. ANY DAMAGE TO SERVICES CAUSED BY WORKS SHALL BE MADE GOOD BY CONTRACTOR, AT CONTRACTORS EXPENSE, AND TO PROJECT MANAGER, OR REGULATORY BODIES, SATISFACTION.
 - ALL LANDSCAPE WORKS SHALL COMPLY WITH ALL COUNCIL DA & CC SPECIFICATION, AND AUS-SPEC-1-NSW C273 "LANDSCAPING" SPECIFICATION.
 - ALL IRRIGATION SHALL COMPLY WITH ALL RELEVANT WATER AUTHORITY REGULATIONS, AS WELL AS AS 2698 SPECIFICATION.
 - ALL MATERIALS SHALL BE FIXED TO MANUFACTURERS SPECIFICATION.
 - ALL GARDEN BEDS NOT DIRECTLY IN CONTACT WITH THE SOIL SHALL BE PROVIDED WITH SUFFICIENT DRAINAGE.
 - EDGING TO BE PROVIDED TO ALL MEETINGS OF DIFFERENT MATERIALS UNLESS OTHERWISE STATED. TRIP HAZARDS ARE TO BE IDENTIFIED AND RECTIFIED AS PART OF THE CONSTRUCTION PROCESS.
 - WEEDMATS SUGGESTED UNDERNEATH DRIVEWAY PATHWAYS.
 - GARDEN BEDS IN OSD BASINS TO BE NON-FLOATABLE DECORATIVE GRAVEL.
 - BUFFALO TURF SUGGESTED.
 - CONTRACTOR TO MAKE GOOD NATURE STRIP TURF TO COUNCIL SPECIFICATION.
 - REFER TO HYDRAULICS PLAN FOR OSD BASIN, DRAINAGE DESIGN FINAL LEVELS. ALL SITE WORKS AND DRAINAGE ARE TO BE SUBJECT TO ENGINEERS DETAILS AND CERTIFICATION. IN THE ABSENCE OF ENGINEERS SPECIFICATION ALL SITE AREAS ARE TO BE PROVIDED WITH SUFFICIENT PITS AND DRAINAGE, AND ALL AREAS TO BE GRADED TOWARDS SUCH PITS.
 - DIMENSIONS SHOULD ALWAYS TAKE PRECEDENCE OVER SCALING.
 - ARCHITECTURAL SET-OUT NOT TO BE TAKEN FROM LANDSCAPE PLANS.
 - ALL PLANS, DESIGNS, AND IDEAS REMAIN THE PROPERTY OF HOUSE OF PLANNING AND SHOULD NOT BE COPIED, REPRODUCED OR CONSTRUCTED WITHOUT THE WRITTEN PERMISSION FROM THE OWNER.

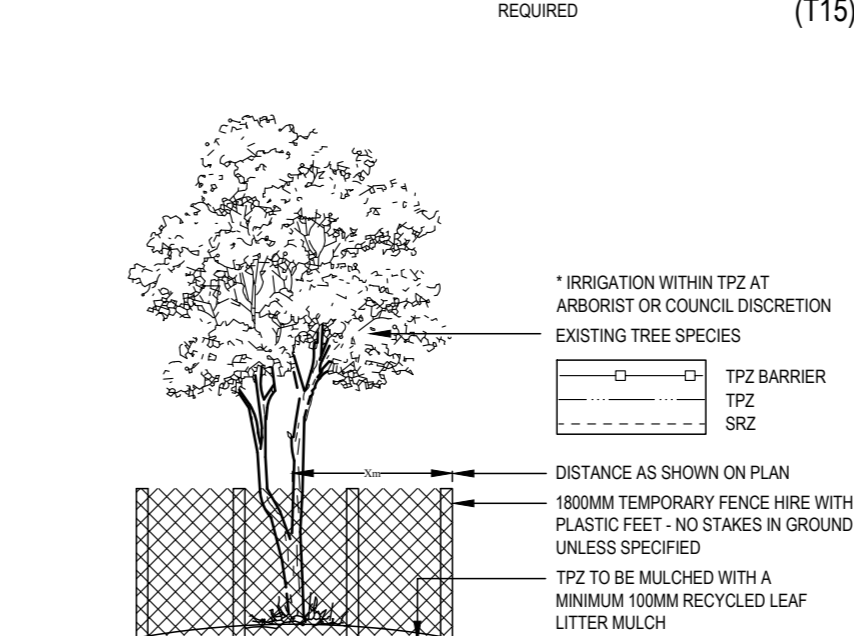
- ### PLANTING/MAINTENANCE NOTES
- GLAZED OR POLISHED PLANTING HOLES, PARTICULARLY IN CLAY SOILS SHOULD BE AVOIDED. PLANTS TO BE MOUNDING WITHIN THESE SOIL TYPES.
 - CONTRACTOR SHALL CHECK AND AMEND pH AS REQUIRED BY SITE CONDITIONS.
 - SOIL MIX SHALL MEET AS 4419-2018, AND SOIL CONDITIONS, MULCHES, AND COMPOSTS SHALL MEET AS 4454-2012.
 - TREE STOCK SHALL MEET AS 2303-2015.
 - PLANTS SHOULD BE PLANTED STRAIGHT, WITH THE TOP OF THE ROOT BALL LEVEL WITH THE SOIL SURFACE.
 - PLANTS SHOULD BE WATERED AS SOON AS POSSIBLE AFTER PLANTING, ONCE WEEKLY FOR A PERIOD OF NO LESS THAN 6 MONTHS, AND A MINIMUM ONCE MONTHLY THEREAFTER. THE VOLUME OF WATER SHALL BE THE SAME AS THE POT SIZE AT PLANTING TIME.
 - PLANTING SHOULD BE AVOIDED AT THE HEIGHT OF SUMMER (DECEMBER - JANUARY).
 - WATER CRYSTALS MAY BE USED TO REDUCE THE AMOUNT OF WATER STRESS SUFFERED BY THE PLANT.
 - IF A FERTILISER IS TO BE APPLIED, A SLOW RELEASE 8 - 9 MONTH PLANT FOOD PREFERRED. LOW PHOSPHOROUS FERTILISER SHALL BE USED FOR ALL NATIVE SPECIES.
 - THE OWNER, OR THEIR REPRESENTATIVE, IS TO MAINTAIN THE HEALTH OF THE LANDSCAPED AREAS FOR THE LIFE OF THE DEVELOPMENT.
 - ONLY SPECIES WITHIN THE LANDSCAPE PLAN SHOULD BE PLANTED. PERMISSION SHOULD BE SOUGHT BEFORE ALTERING THE PLANT SPECIES LIST (ON MOST OCCASIONS NURSERIES CAN SUBSTITUTE).
 - STOCK SHOULD BE FREE OF PESTS, DISEASE AND WEEDS AND NOT POT BOUND.
 - REPLACEMENT PLANTS SHOULD BE MADE AVAILABLE FOR ANY LOSSES OF PLANT STOCK THAT MAY OCCUR FOR A MINIMUM 12 MONTH PERIOD.
 - WEEDS SHOULD BE TREATED/REMOVED ON A FORTNIGHTLY BASIS, IN ACCORDANCE WITH BIODIVERSITY CONSERVATION ACT 2016 AND ANY LOCAL COUNCIL POLICY.
 - PEST OR DISEASE SAMPLES SHOULD BE TAKEN TO THE LOCAL NURSERY FOR IDENTIFICATION AND APPROPRIATE REMEDY.

- ### RETAINING WALL NOTES
- RETAINING WALL SECTIONS/LOCATIONS SHOWN ARE INDICATIVE ONLY.
 - RETAINING WALL MATERIAL SELECTION AND CONSTRUCTION ARE THE OWNERS/CONTRACTORS RESPONSIBILITY.
 - ALL RETAINING WALLS SHALL BE CONSTRUCTED TO THE MANUFACTURERS/ENGINEERS SPECIFICATION.
 - ALL RETAINING WALLS SHALL BE PROVIDED WITH SUFFICIENT DRAINAGE TO MANUFACTURERS/ENGINEERS AND COUNCIL SPECIFICATION. DRAINAGE SHALL NOT CONNECT TO ANY PIPES LEADING TO A RAINWATER TANK.
 - ALL RETAINING WALL CONSTRUCTION SHALL TAKE INTO ACCOUNT SITE CONDITIONS AND ADAPT ACCORDINGLY.
 - ALL RETAINING WALLS AND ASSOCIATED WORKS SHALL BE CONSTRUCTED WHOLLY WITHIN THE BOUNDS OF THE SUBJECT PROPERTY, CONSISTENT WITH THE INDICATIVE SECTIONS PROVIDED.
 - ALL FILL PLACEMENT IS TO BE CARRIED OUT IN ACCORDANCE WITH AS3798-2007 "GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENT".
 - HANDRAILS SHALL BE CONSTRUCTED TO ALL RETAINING WALLS AS REQUIRED BY NCC-3.9.2.
 - RETAINING WALL DRAINAGE POINTS, AND ALL OTHER WORKS, SHALL BE INSPECTED AT REGULAR (ONCE YEARLY MINIMUM) INTERVALS AND ALL ISSUES AND BLOCKAGES RECTIFIED IMMEDIATELY, FOR THE LIFE OF THE WALL.

- ### TYPICAL PLANT SELECTION CRITERIA - AS2303-2015 'TREE STOCK FOR LANDSCAPE USE' FOR FULL SPEC
- ENSURE GOOD HEALTH AND VIGOUR. ENSURE FREEDOM FROM PESTS, DISEASES AND INJURY.
 - SPECIMENS SHOULD BE SELF SUPPORTING AT TIME OF PLANTING - STAKING ONLY TO BE USED WHEN NECESSARY - 1 GROWING SEASON MAX.
 - ENSURE EVIDENCE OF STEM TAPER - (INCREASE IN CALIPER DOWN THE STEM).
 - PRUNING - ENSURE CLEAN STEM HEIGHT DOES NOT EXCEED 40% OF PLANT HEIGHT.
 - ENSURE CUTS ARE AT BRANCH COLLAR ARE CLEAN WITH NO TEARS.
 - ENSURE APICAL DOMINANCE FOR TREES WITH TYPICAL EXCURRENT FORM - LEADER VEVIATION <15%.
 - ENSURE GOOD CROWN SYMMETRY AND SOUND STEM JUNCTIONS - NO INCLUDED BARK.
 - ENSURE SPECIMENS ARE FREE OF GIRDLING AND SUCKERING ROOTS.
 - ENSURE TRUNK POSITION IS WITHIN 10% OF POT CENTRE. IF TREE IS GRAFTED ENSURE SCION AND ROOTSTOCK ARE SOUND.



45-75LTR TYPICAL PLANTING (NTS)



TYPICAL TREE PROTECTION DETAIL - (NTS)
(IF NO ARBORIST REPORT REQUIRED)

LANDSCAPE AREAS
SITE = 1642.8m ² (BY SURVEY)
LANDSCAPE AREA REQUIRED (SITE x 0.3) = 492.84m ²
LANDSCAPE AREA ACHIEVED = 524.72m ²

NOTE: HOUSE OF PLANNING RESERVES THE RIGHT NOT TO UNDERTAKE NOR SUPPLY CERTIFICATION FOR OCCUPATION CERTIFICATE.
NOTE: TO AID COMPLIANCE WITH BASIS LEGISLATION, PLANTS (WHERE APPLICABLE) HAVE BEEN SELECTED FROM THE LOCAL CITY COUNCIL / SHIRE PLANT LISTS.
NOTE: LOCATION OF SEWER MAINS LINES, WATER PIPES, UNDERGROUND ELECTRICITY AND OTHER SERVICES MUST BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK ON SITE. DIAL BEFORE YOU DIG 1100.

CONTRACTORS NOTE: CALCULATED AREAS DETERMINED BY CAD AND HAVE BEEN ROUNDED UP FOR USE AS A GUIDE ONLY. ALLOW STANDARD PERCENTAGES FOR CUTTING AND WASTAGE. CONFIRM DIMENSIONS AND NUMBERS PRIOR TO QUOTING / ORDERING.

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FULL TERMS AND CONDITIONS CAN BE OBTAINED FROM HOUSE OF PLANNING, OR UPON REQUEST. THIS PLAN MAY ONLY BE UTILISED FOR ITS INTENDED PURPOSE ONCE PAYMENT HAS BEEN RECEIVED IN FULL, OR AS PER OUR LETTER OF AGREEMENT.

NOT FOR CONSTRUCTION PURPOSES

DIAL BEFORE YOU DIG www.1100.com.au

AMENDMENTS:
DATE: 2023.11.21 AMENDMENT: B-AMEND TO COUNCIL RFI DRAWN: CJ

PROJECT: **PROPOSED DWELLINGS**

DATE: 30 NOV 22 REF #: D1273

DRAWN: CJ SHEET #: 1 of 1

SCALE: 1:200 @ A2

HOUSE OF PLANNING
Ph: 0405 284 952
info@houseofplanning.com.au

TITLE: **PROPOSED DWELLINGS**

ADDRESS: 148-150 FARMBOROUGH ROAD FARMBOROUGH HEIGHTS

CLIENT: CONSTRUCTION LEGACY



NOTES

- ALL LINES ARE TO BE MIN. 1000 uPVC @ MIN 1.0% GRADE UNLESS NOTED OTHERWISE.
- IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE & LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS. ALL DESIGN LEVELS SHOWN ON PLAN SHALL BE VERIFIED ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK.
- ALL PIPES TO HAVE MIN 200mm COVER IF LOCATED WITHIN PROPERTY.
- ALL PITS IN DRIVEWAYS BE HEAVY DUTY GRATES. DIRECT SURFACE FLOW TO ALL GRATED SURFACE INLET PITS.
- ALL WORK DO BE DONE IN ACCORDANCE WITH AS/NZ 3500.3.2:1998 AND COUNCIL SPECIFICATIONS.
- LOCATION OF DOWNPIPES & FLOOR WASTES ARE INDICATIVE ONLY. DOWNPIPE & FLOOR WASTE SIZE, LOCATION & QUANTITY TO BE DETERMINED BY BUILDER & IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.

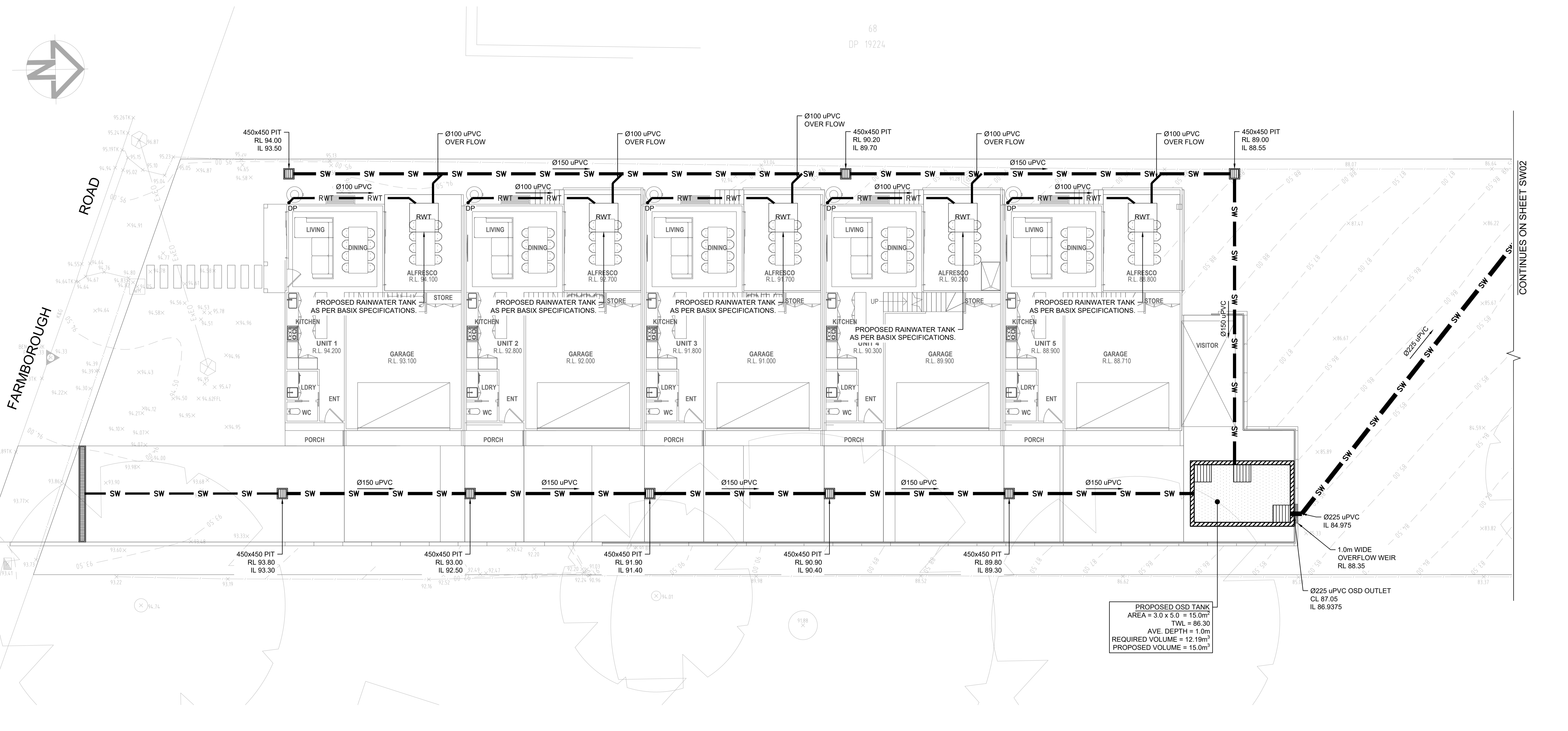
- THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, LANDSCAPE AND STRUCTURAL PLANS.
- ANY DISCREPANCIES OR OMISSIONS SHALL BE REFERRED TO THE DESIGN ENGINEER FOR RESOLUTION.
- ALL PITS OR GRATES IN TRAFFICABLE AREAS TO BE HEAVY DUTY.
- ALL GUTTERS WILL BE FITTED WITH LEAF GUARDS AND SHOULD BE INSPECTED AND CLEANED TO ENSURE LEAF LITTER CANNOT ENTER THE DOWNPIPES
- EXISTING STORMWATER DRAINAGE TO BE UTILISED WHERE CONTRACTOR SEE FIT.

SYMBOLS

- | | | | |
|---------|-----------------------------------|--------|-----------------------------|
| RL | PIT SURFACE LEVEL | • DP | DOWN PIPE |
| IL | INVERT LEVEL | • DPS | DOWN PIPE SPREADER |
| TK | TOP OF KERB | • CO | CLEAN OUT |
| — SW — | STORMWATER DRAINAGE PIPE | • IO | INSPECTION OPENING |
| — RWT — | DOWNPIPE TO RAINWATER TANK | • VD | VERTICAL DROP |
| — OF — | OVERFLOW PIPE FROM RAINWATER TANK | • VR | VERTICAL RISER |
| — AS — | Ø100 SUBSOIL PIPE | ☒ | CONCRETE COVER JUNCTION PIT |
| — RM — | RISING MAIN | ☒ | GRATED INLET PIT |
| ☒ FW | FLOOR WASTE 150x150 | ▬▬▬▬▬▬ | WIDE GRATED DRAIN |
| ⊗ FW | FLOOR WASTE 150Ø | | |
| ⊗ RWO | RAINWATER OUTLET 300Ø | | |

DESIGN NOTES

- LGA = WOLLONGONG CITY COUNCIL
- SCOPE OF WORKS TO INCLUDE DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF PROPOSED MULTI DWELLING DEVELOPMENT AND STRATA TITLE SUBDIVISION.
- IN ACCORDANCE WITH COUNCIL GUIDELINES OSD IS REQUIRED FOR SUBJECT DEVELOPMENT. REFER TO SW03 FOR CALCULATIONS.
- PROPOSED RAINWATER TANK PER DWELLING AS PER BASIX SPECIFICATIONS.



No	AMENDMENT	ENG	DRAFT	DATE
B	ISSUED FOR D.A.	A.E.	J.L.	27.10.23
A	ISSUED FOR D.A.	A.E.	J.L.	02.02.23

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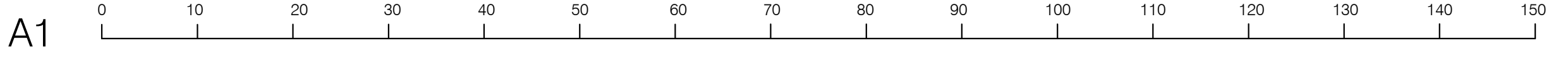
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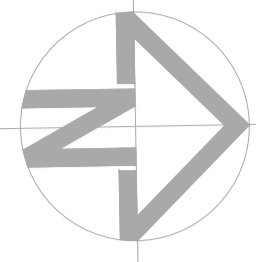
CLIENT
CONSTRUCTION LEGACY

SHEET SUBJECT
**STORMWATER DRAINAGE PLAN
 GROUND FLOOR**

PROJECT 148-150 FARMBOROUGH ROAD, FARMBOROUGH HEIGHTS 2526
 DATE 02.02.2023
 DRAWN J.L.
 DESIGNED J.L.
 CHECKED A.E.
 SCALE @ A1
 1:100 U.N.O.
 JOB No D22229
 DWG No SW01
 REV B

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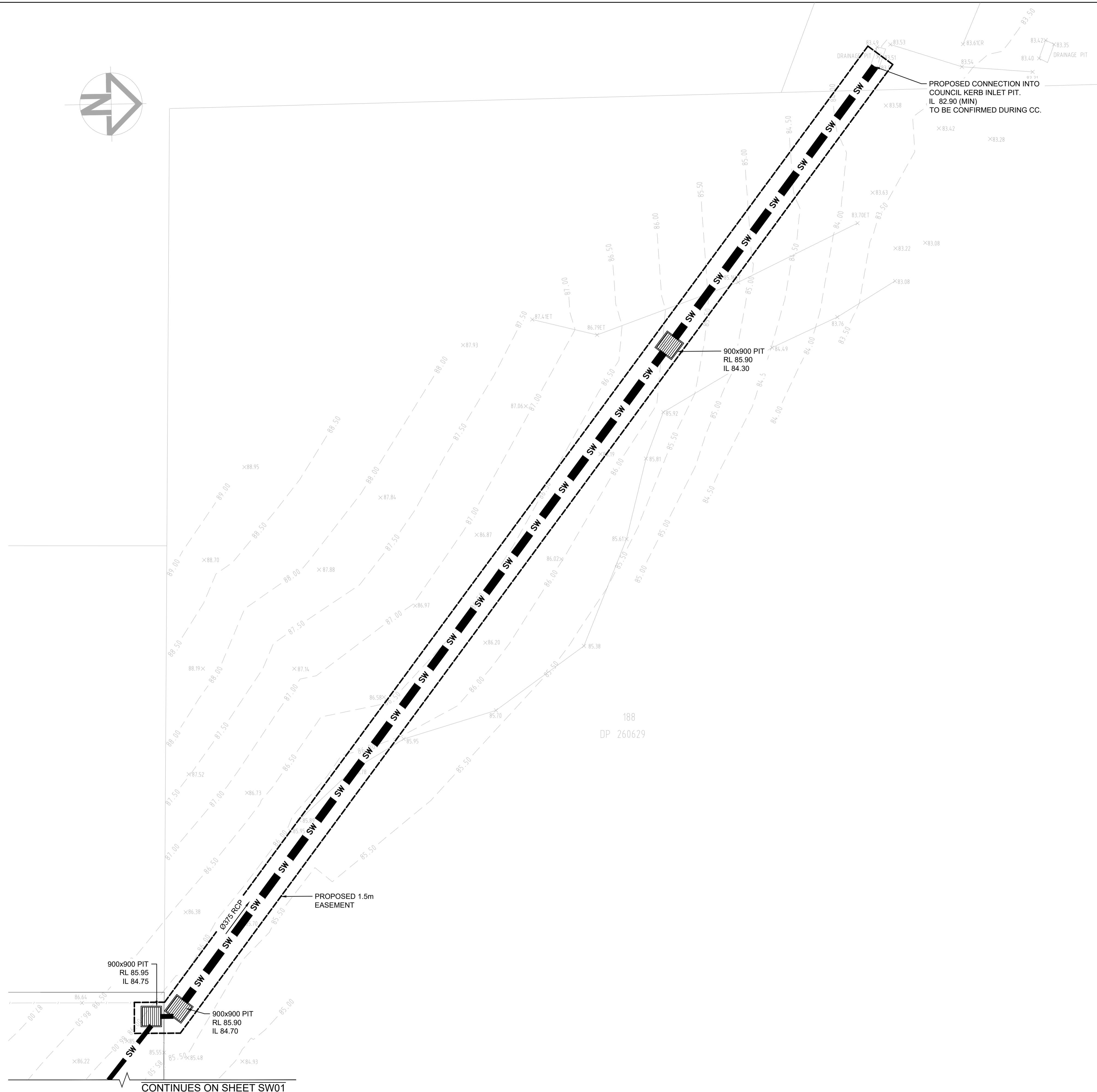


NOTES

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- EXISTING STORMWATER DRAINAGE TO BE UTILISED WHERE CONTRACTOR SEE FIT.

SYMBOLS

- RL PIT SURFACE LEVEL
- IL INVERT LEVEL
- TK TOP OF KERB
- SW STORMWATER DRAINAGE PIPE
- RWT DOWNPIPE TO RAINWATER TANK
- OF OVERFLOW PIPE FROM RAINWATER TANK
- AS Ø100 SUBSOIL PIPE
- RM RISING MAIN
- FW FLOOR WASTE 150X150
- FW FLOOR WASTE 150Ø
- RWO RAINWATER OUTLET 300Ø
- DP DOWN PIPE
- DPS DOWN PIPE SPREADER
- CO CLEAN OUT
- IO INSPECTION OPENING
- VD VERTICAL DROP
- VR VERTICAL RISER
- Concrete cover symbol CONCRETE COVER JUNCTION PIT
- Grated inlet symbol GRATED INLET PIT
- Wide grate symbol WIDE GRATED DRAIN



- DESIGN NOTES**
- LGA = WOLLONGONG CITY COUNCIL
 - SCOPE OF WORKS TO INCLUDE DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF PROPOSED MULTI DWELLING DEVELOPMENT AND STRATA TITLE SUBDIVISION.
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 - PROPOSED RAINWATER TANK PER DWELLING AS PER BASIX SPECIFICATIONS.

CONTINUES ON SHEET SW01

No	AMENDMENT	ENG	DRAFT	DATE
B	ISSUED FOR D.A.	A.E.	J.L.	27.10.23
A	ISSUED FOR D.A.	A.E.	J.L.	02.02.23

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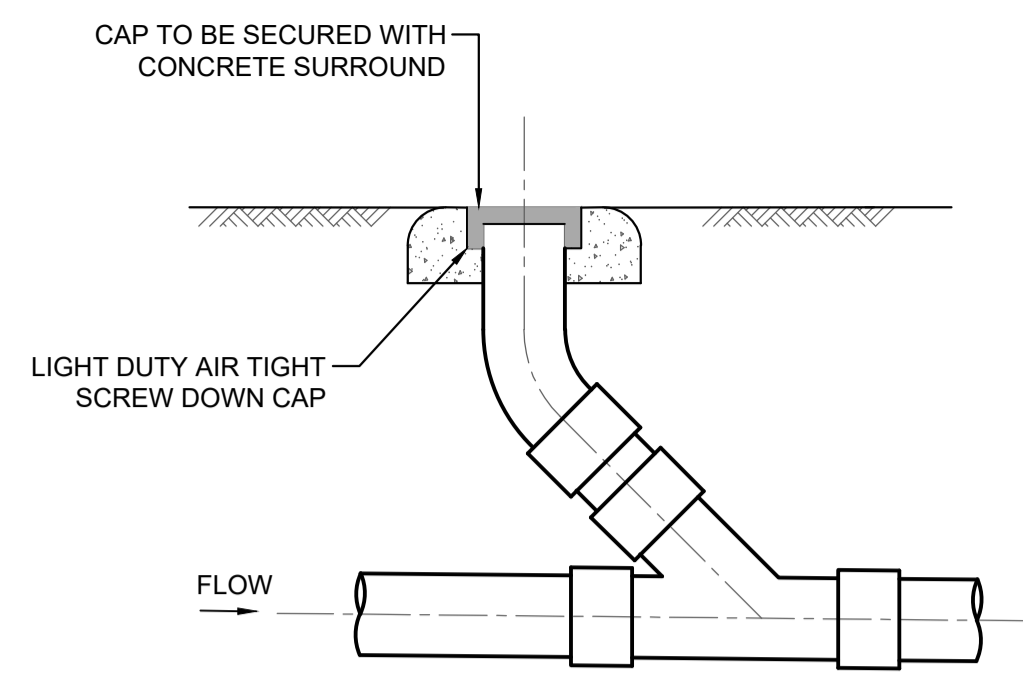
SHEET SUBJECT
EASEMENT PLAN

PROJECT 148-150 FARMBOROUGH ROAD, FARMBOROUGH HEIGHTS 2526			
DATE	DRAWN	DESIGNED	CHECKED
02.02.2023	J.L.	J.L.	A.E.
SCALE @ A1		JOB No	
1:100 U.N.O.		D22229	
AUTHORISED		DWG No	REV
		A.E.	SW02 B

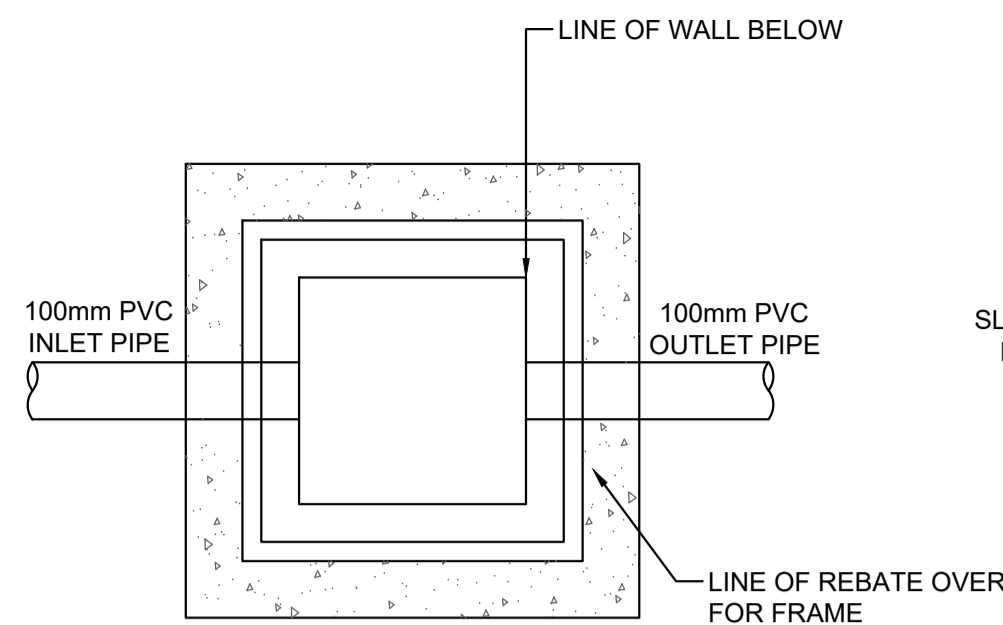
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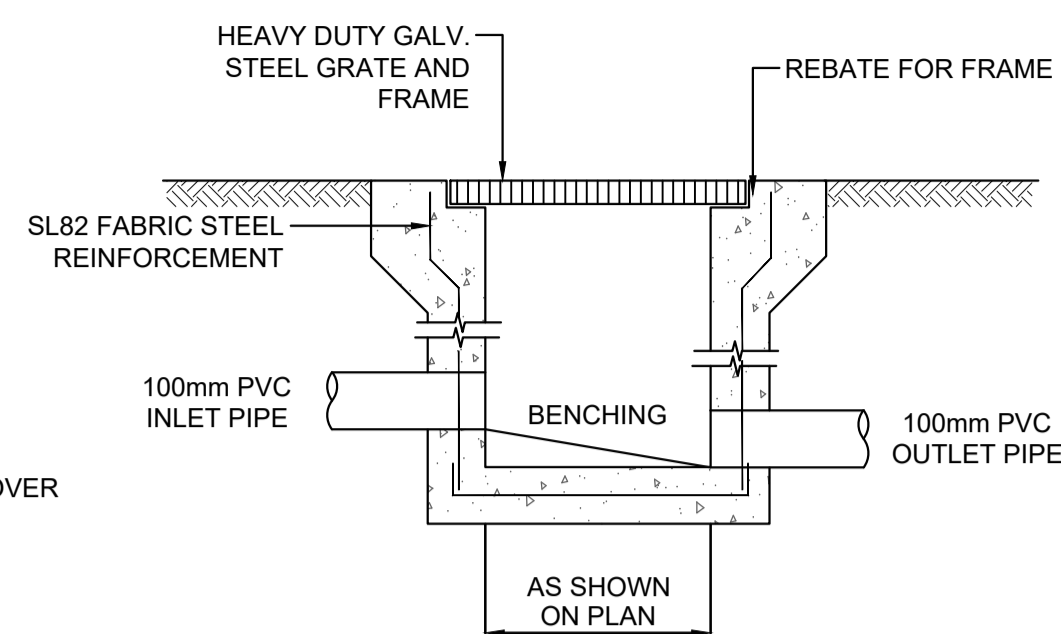
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TYPICAL CLEANING EYE DETAIL
SCALE N.T.S.

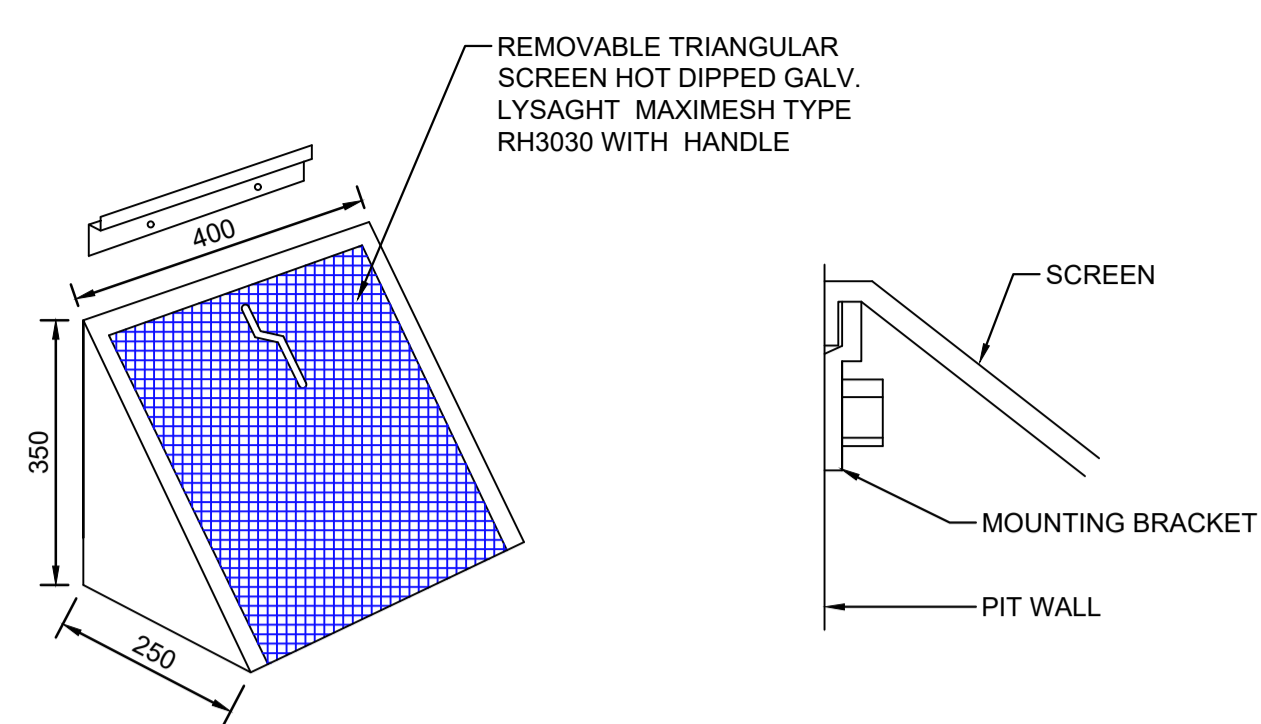


PLAN WITHOUT GRATE

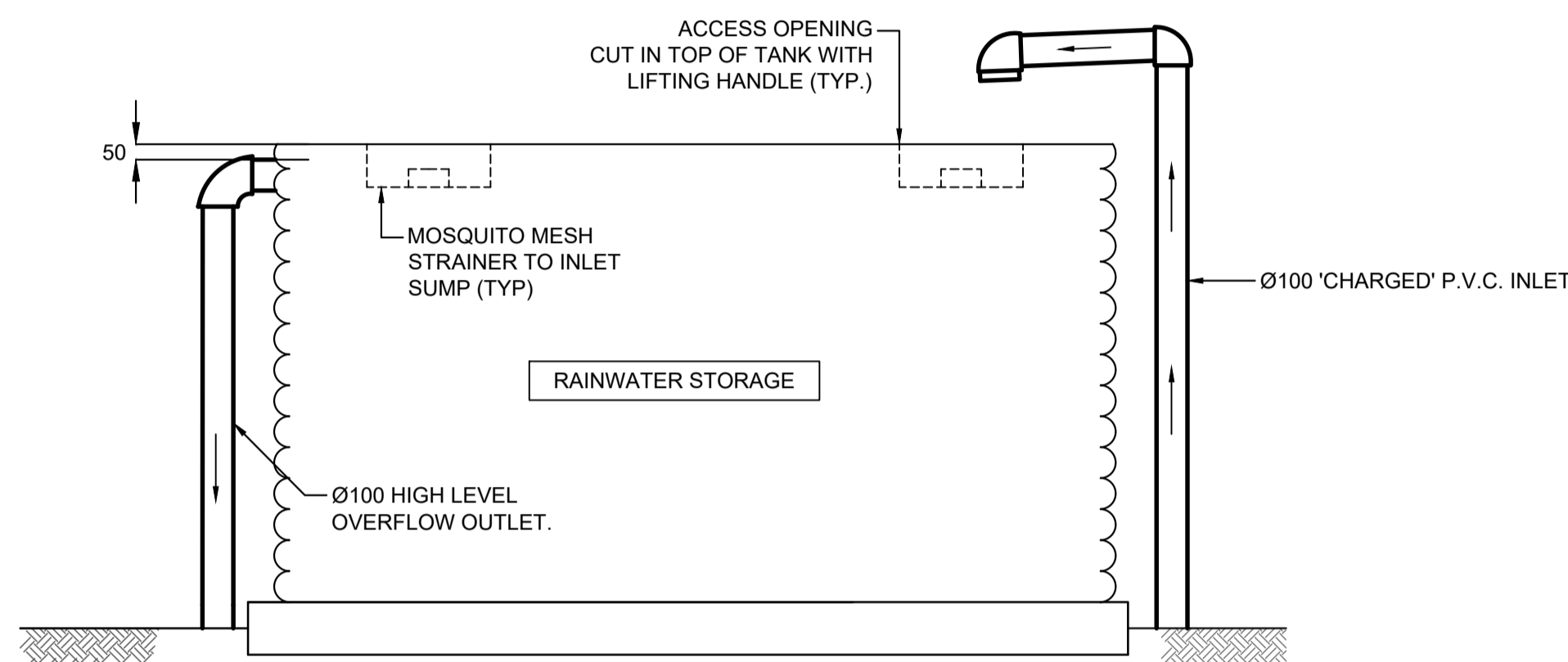


SECTION

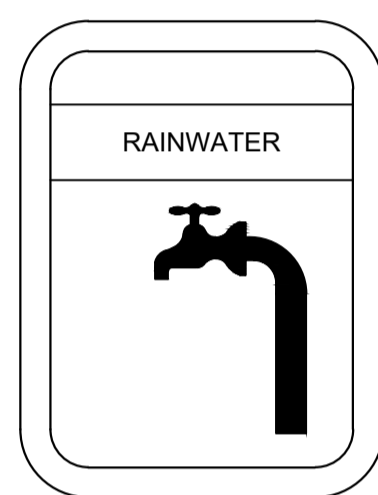
STORMWATER PIT DETAIL
SCALE N.T.S.



MULTI PURPOSE FILTER SCREEN
SCALE 1:10

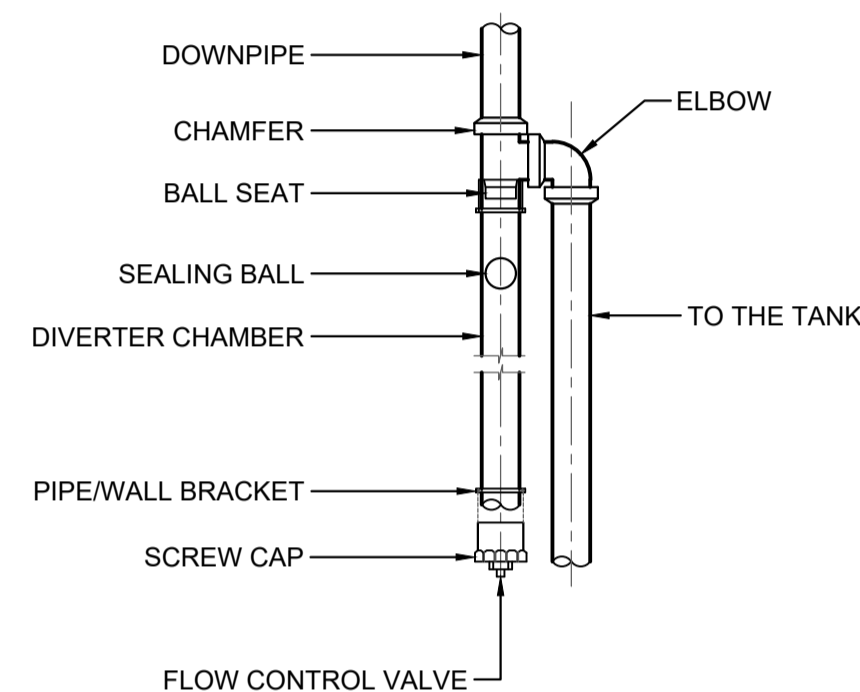


TYPICAL RAINWATER TANK DETAIL
SCALE N.T.S.

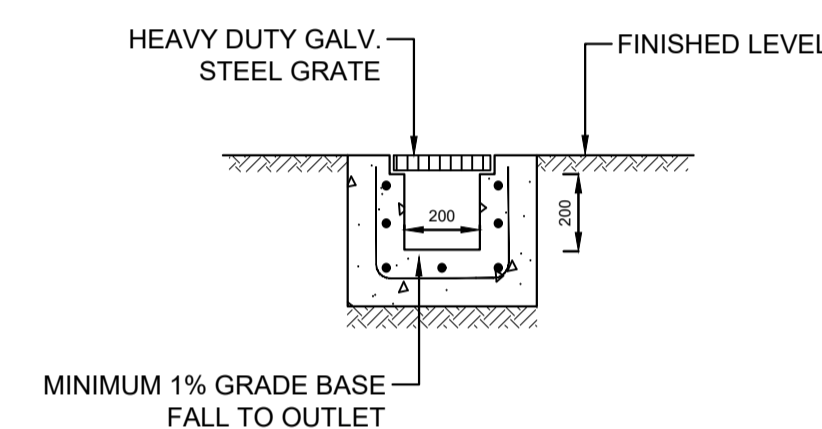


RAINWATER SIGN DETAIL
SCALE 1:20

LEGEND:
BACKGROUND IS YELLOW
TEXT IS WHITE ON BLACK
BACKGROUND

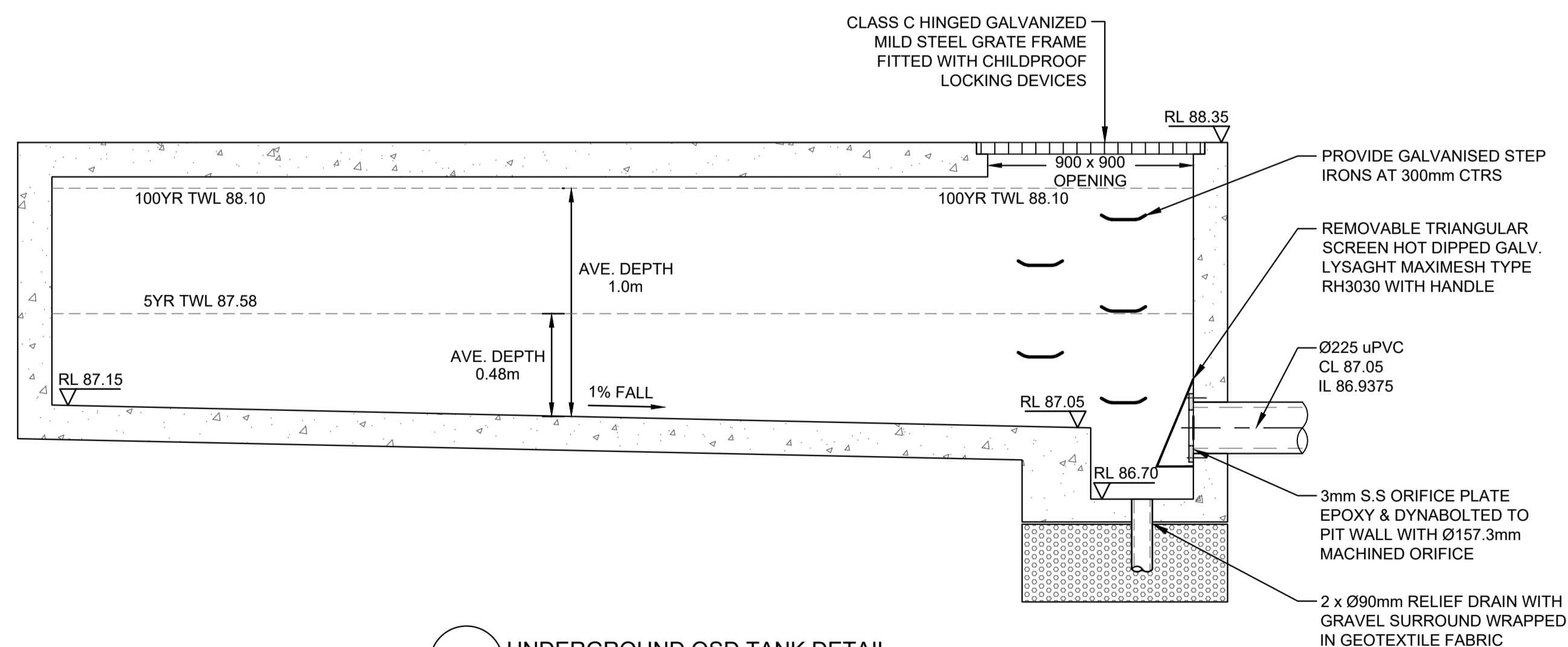


FIRST FLUSH DETAIL
SCALE 1:10



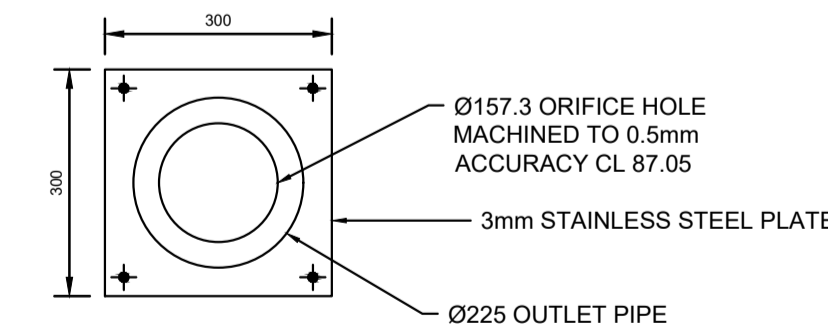
GRADED TRENCH DRAIN DETAIL
SCALE 1:20

WOLLONGONG CITY COUNCIL			
DETERMINATION OF PSD AND SSR FOR A DEVELOPING SITE			
LOCATED IN OSD CONCESSION ZONE? NO			
ADDRESS 148-150 FARMBOROUGH ROAD, FARMBOROUGH HEIGHTS			
TOTAL SITE AREA	1642.8 m ²		
EXISTING TRIBUTARY AREA TO BASIN	1642.8 m ²		
EXISTING % IMPV OF TRIBUTARY AREA TO BASIN	278.5 m ²	16.95 %	F1
POST-DEV TRIBUTARY AREA TO BASIN (m ² -ha)	1141.3 m ²	0.114 ha	F2 & F4
POST-DEV % IMPV IN TRIBUTARY AREA TO BASIN	1141.3 m ²	69.47 %	F3
I [1HR-50YRARI]	105 (mm/hr)		PSD
F1-5YR =	1.057		
F1-100YR =	1.045		
WHEN SITE IS WHOLLY UNDEVELOPED, F1-5YR & F1-100YR			
F2 =	1.111		
F3 =	0.160		
F4 =	0.580		
PSD-5YR =	37.584 L/sec		
PSD-100YR =	64.990 L/sec		
SSR-5YR =	7.051 (m ³)		
SSR-100YR =	12.192 (m ³)		
PSD ₅ =	F1 ₅ x F2 x 2.67 x (Area/10,000) x I ^{1.48}	(l/sec) eq 1.4.4.1	
PSD ₁₀₀ =	F1 ₁₀₀ x F2 x 4.67 x (Area/10,000) x I ^{1.48}	(l/sec) eq 1.4.4.2	
Where PSD ₅ is the permitted peak discharge from the basin in a 5Yr ARI event			
PSD ₁₀₀ is the permitted peak discharge from the basin in a 100Yr ARI event			
I ^{1.48} (mm/hr) is the one hour 50Yr ARI rainfall intensity at the site (refer App A2)			
F1 ₅ and F1 ₁₀₀ are the factors for existing impervious cover (refer App A3)			
F2 is the factor reflecting variations in area from a 1Ha base (refer App A4)			
Area (m ²) is the tributary area draining to the OSD basin			
Note both F1 ₅ and F1 ₁₀₀ will be 1.00 if the existing tributary area is wholly			
SSR ₅ =	F3 x F4 x 2.25 x PSD ₅ F2	(m ³) eq 1.4.4.3	
SSR ₁₀₀ =	F3 x F4 x 2.25 x PSD ₁₀₀ F2	(m ³) eq 1.4.4.4	
Where:			
SSR ₅ is the facility storage at a discharge of PSD ₅			
SSR ₁₀₀ is the facility storage at a discharge of PSD ₁₀₀			
F3 is the factor reflecting post development impervious cover (refer App A5)			
F4 is the factor reflecting variations in area from the 1Ha base (refer App A6)			



UNDERGROUND OSD TANK DETAIL
SCALE 1:20

CALCULATING ORIFICE DIAMETER	CALCULATING ORIFICE DIAMETER
Q (l/s) = 37.584	Q (l/s) = 52.9
Q (m ³ /s) = 0.037584	Q (m ³ /s) = 0.0529
Cd = 0.6	Cd = 0.6
g = 9.81	g = 9.81
h = 0.53	h = 1.05
A (m ²) = 0.019425	A (m ²) = 0.019425
D (m) = 0.157267	D (m) = 0.157266
D(mm) = 157.3	D(mm) = 157.3
5-YR ORIFICE CALCULATIONS	100-YR ORIFICE CALCULATIONS



ORIFICE PLATE ELEVATION
SCALE 1:10

B	ISSUED FOR D.A.	A.E.	J.L.	27.10.23
A	ISSUED FOR D.A.	A.E.	J.L.	02.02.23
No	AMENDMENT	ENG	DRAFT	DATE

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CLIENT CONSTRUCTION LEGACY

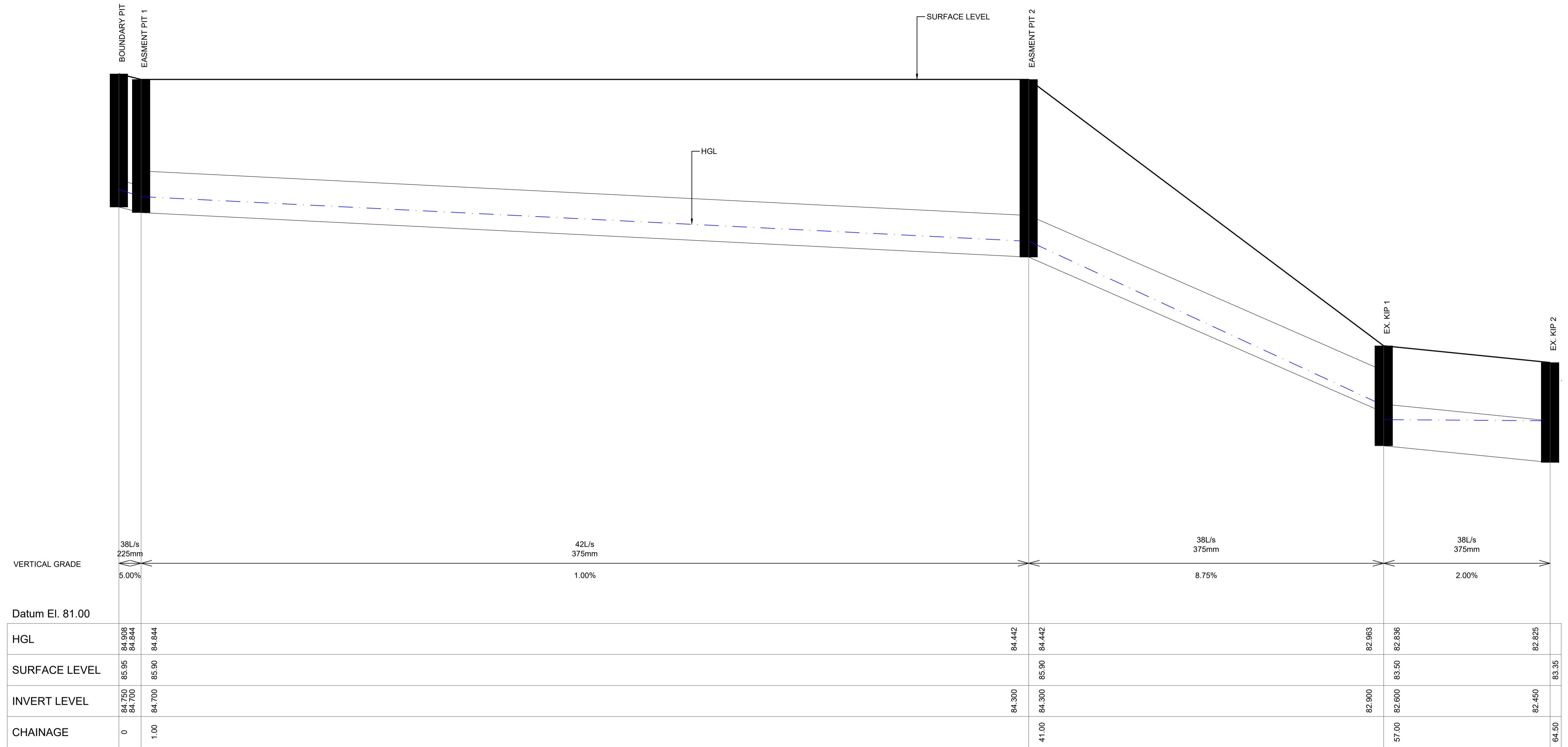
SHEET SUBJECT STORMWATER DRAINAGE DETAILS

PROJECT 148-150 FARMBOROUGH ROAD, FARMBOROUGH HEIGHTS 2526	DATE 02.02.2023	DRAWN J.L.	DESIGNED J.L.	CHECKED A.E.
SCALE @ A1 1:100 U.N.O.	JOB No D22229	DWG No SW03	REV B	
AUTHORISED A.E.				

ISSUED FOR D.A.

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STORMWATER LONGITUDINAL SECTION
SCALE (H) 1:100
(V) 1:20

No	AMENDMENT	ENG	DRAFT	DATE
B	ISSUED FOR D.A.	A.E.	J.L.	27.10.23
A	ISSUED FOR D.A.	A.E.	J.L.	02.02.23

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CLIENT
CONSTRUCTION LEGACY

SHEET SUBJECT
STORMWATER
LONGITUDINAL SECTION

PROJECT 148-150 FARMBOROUGH ROAD, FARMBOROUGH HEIGHTS 2526			
DATE 02.02.2023	DRAWN J.L.	DESIGNED J.L.	CHECKED A.E.
SCALE @ A1 1:100 U.N.O.		JOB No D22229	
AUTHORISED	DWG No SW04	REV B	

ISSUED FOR D.A.

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Attachment 2

CHAPTER A1 – INTRODUCTION

(8) Variations to development controls in the DCP

The development has been assessed against relevant chapters of WDCP2009 and found to be unsatisfactory with regards to retaining walls, car parking/traffic, landscaping, stormwater management, bushfire management, preservation and management of trees, native biodiversity impact and earthworks. No request statements have been prepared in accordance with the requirements of part 8 of Chapter A1. It is noted that no variation request has been provided for all variations to development controls with the application submission.

CHAPTER A2 – ECOLOGICALLY SUSTAINABLE DEVELOPMENT

Development controls to improve the sustainability of development throughout Wollongong are integrated into the relevant chapters of this DCP. A Basix Certificate has been submitted with the application.

Generally speaking, the proposal is considered to be consistent with the principles of Ecologically Sustainable Development.

CHAPTER B1 – RESIDENTIAL DEVELOPMENT

5.0 Attached dwellings and multi-dwelling housing

<i>Controls/objectives</i>	<i>Comment</i>	<i>Compliance</i>
<u>5.1 Minimum Site Width Requirement</u>		
<ul style="list-style-type: none"> The Wollongong LEP requires a minimum site width of 18 metres for multi-dwelling development. Site width is measured for the full width of the site, perpendicular to the property side boundaries. 	The site achieves a width of 22.9 metres and complies with the minimum requirement as stipulated in this clause.	Yes
<u>5.2 Number of Storeys</u>		
<ul style="list-style-type: none"> Maximum number of stories in a R2 zone are two (2) storeys 	The dwellings are a maximum of two stories in height.	Yes
<u>5.3 Front Setbacks</u>		
<ul style="list-style-type: none"> A 6m setback requirements applies from the front property boundary to the front façade of the building. 	Plans indicate the proposal has a front setback of 6m	Yes
<ul style="list-style-type: none"> Balconies, front courtyard fences and other building extrusions may be set back up to 900mm closer than the required front or secondary setback. 	Plans indicate the front porch for dwelling encroaches into the front setback by approximately 900mm	Yes
<u>5.4 Side and Rear Setbacks</u>		
<ul style="list-style-type: none"> For an attached and multi-dwelling housing, the rear boundary setbacks are 	Side setback – $0.8 \times 6.38 = 5.1\text{m}$ (ground)	Yes

measured from the wall of the building or the outer edge of a balcony/deck, to the adjacent property boundary. The minimum rear boundary setbacks are as follows:

0.8 x ceiling height (side and rear setback).

1.0 x ceiling height (where balcony or living room window face rear setback)

5.5 Building Character and Form

- the following elements must be incorporated in the building design of attached and multi-dwelling development:

(a) Articulate and fragment building walls that address the street and add visual interest. The appearance of blank walls or walls with only utility windows on the front elevation is not permitted.

(b) Avoid expanses of any single material.

(c) Utilise high quality and durable materials and finishes.

(d) Entrances must be visible at eye level from the street and well lit.

(e) For those dwellings adjacent to the street frontage, the habitable rooms must face the street.

(f) Ensure entrances can accommodate the movement of furniture.

(g) Air conditioning units must not be visible from the street. Space shall be allocated and shown on plans for air conditioning units in order to demonstrate that this can be achieved.

(h) All residential buildings must be designed with building

Site setbacks – 5.262 (upper)

Yes

Rear setback – 20m

Yes

The dwellings included articulation elements that address the street within blank walls. A mixture of bricks and cladding is proposed, and entrances are also visible from the street.

Yes

Council is satisfied the character of the buildings is consistent with an R2 low density residential environment. However, council does not support the proposed retaining walls.

Yes

Air conditioning units are not visible from the street.

Yes

frontages and entries clearly addressing the street frontage. Dwellings adjacent to the street boundary must have individual entries from the street.

(i) For attached dwellings on corner sites, each frontage of the development must present as the primary street frontage.

(j) Where garages are proposed on the front elevation they must be articulated unless it can be demonstrated that the garages will not visually dominate the streetscape appearance of the building.

5.6 Access / Driveway Requirements

- The development proposal must provide access to the site in accordance with the following controls:
 - (a) Paving colour, texture and material should be sympathetic with the character of the precinct and reflect a pleasant visual appearance.
 - (b) Provide driveways to parking areas from lanes and secondary streets rather than the primary road or street, wherever practicable.
 - (c) The number of access points to a development must be kept to a minimum.
 - (d) Locate driveways considering any services within the road reserve, such as power poles, drainage inlet pits and existing street trees.
 - (e) Long straight driveways should be avoided because these adversely dominate the streetscape and landscape. Curved driveways are more desirable. Landscaping between the buildings and the driveways

Car parking has been accessed in accordance with the requirements of this chapter and deemed unsatisfactory. The parking aisle adjacent to the garages and visitor spaces is required to be widened to a width that complies with Figure 5.4 of AS2890.1. No more than a 3-point turn manoeuvre (combined entry/exit) for a B85 vehicle is required to be demonstrated on the plans with suitable clearances. To achieve compliance, this requires widening of the parking aisle and door jambs, and removal/revision of the entry porches, to achieve compliant turning manoeuvre with a parking aisle

No

is encouraged to soften the appearance of the hard surface.

(f) All driveways must be located a minimum of 6 metres from the perpendicular of any intersection of any two roads.

(g) Any driveway servicing a residential development is to be setback a minimum of 1.5m from any side property boundary.

(h) Driveways are to be a maximum of 6m in width.

(i) The design of driveway and crossovers must be in accordance with council's standard vehicle entrance designs.

- All vehicles within a multi dwelling development must provide vehicular manoeuvring areas to all parking spaces so vehicles do not need to make more than a single point turn to leave the site in a forward direction. Direct reversing onto the street will only be considered where the garage fronts a secondary road, carrying reduced traffic volume and all other requirements of the policy are met.

5.7 Car Parking Requirements

- On site car parking must be positioned to minimise impacts on the streetscape. Car parking must be located behind the building setback and be screened from view with well-designed structures and vegetation. Car parking may also be located within a basement.
- Car parking areas should be designed to serve residents and visitors of the site conveniently, efficiently, and appropriately.

Driveway widths comply with minimum 5.5m width requirement

Yes

The proposal complies with onsite car parking requirements and visitor car parking spaces.

Yes

Car parking areas are clearly defined however is not accessible to residents as the parking aisle does not meet minimum widths.

No

This can be achieved in the following ways:

(a) Ensuring that car parking areas are located close to entrances and access ways.

(b) Car parking areas to be secure yet easily accessible for all residents.

(c) Have clearly defined areas for visitor parking and disabled parking.

5.8 Landscaping Requirements

- A minimum of 30% of the total site area must be provided as landscaped area. Landscaped area is defined in the Wollongong LEP 2009 as part of a site used for growing plants, grasses, and trees, but does not include any building, structure, or hard paved area. The landscaped area may also include landscaping on a podium, where that section of the podium is less or equal to than 1.2 metres in height and the minimum soil standards of this DCP (clause 6.11.2) are achieved. Any landscaped area on the site which is less than 1.5 metres in width is not included within the landscaped area calculations.

30% of the site can be used for landscaping purposes. The landscape plan provided with the DA submission suggests landscaping is provided in the front and rear setback.

No

A minimum 1.5m wide landscaped area has not been provided along the full length of the side and front boundaries. This 1.5m width is to be clear of any retaining walls or edges. It is not to be compromised by such things as clothes lines, bin storage, pathways, water tanks. These landscaped areas are to be planted with hedge type plants to provide a buffer between the development and neighbouring properties. The side boundary garden bed adjacent to Unit 1 does not comply with the minimum 1.5m width.

5.9 Deep Soil Planting

- A minimum of half of the landscaped area (i.e. 15% of the site) must be provided as a deep soil zone, where the deep soil zone is not located at the rear of the site. The deep soil zone may be located in any position on the site, other than forward of the building line, subject to this area having a minimum dimension of 6m. Alternatively, the deep soil may extend along the full length of the rear of the site, with a minimum width of

The rear of the site has been proposed as the deep soil zone with minimum dimensions of 6m.

Yes

Council is satisfied that the location of the deep soil zone is suitable for deep soil plantings.

Yes

6m. The area of deep soil planting must be continuous to ensure that the deep soil planting area is a singular uniform area and is not fragmented.

5.10 Communal Open Space

- Developments with more than 10 dwellings must incorporate communal open space. The minimum size of this open space is to be calculated at 5m² per dwelling. Any area to be included in the communal open space calculations must have a minimum dimension of 5 metres. The communal open space must be easily accessible and within a reasonable distance from each dwelling be integrated with site landscaping, allow for casual social interaction, and be capable of accommodating recreational activities

The proposal does not include 10 or more dwellings.

N/A

5.11 Private Open Space

- Private open space must be provided for each dwelling within an attached dwelling development in the form of a balcony, courtyard, terrace and/or roof garden.

All dwellings are compliant with private open space requirements. Each dwelling provides an alfresco area which is suitable for private activities and recreational purposes. Each space has dimensions of 4.0m x 5.0m and accessed off living spaces.

Yes

5.12 Solar Access Requirements

- Windows to living rooms of adjoining dwellings must receive 3 hours of sunlight between 9.00am and 3.00pm on 21 June.
- At least 50% of the private open areas of adjoining residential properties must receive at least 3 hours of sunlight between 9.00am and 3.00pm on June 21.

Windows of adjoining dwellings receive 3 hours of sunlight between 9am and 3pm on 21 June.

Yes

The private open space of adjoining dwellings receives 3 hours of sunlight between 9am and 3pm on 21 June.

Yes

5.13 Additional Control for Multi Dwelling Housing - Dwelling Mix and Layout

- Provide a mix of dwelling sizes and layouts within larger multi-dwelling developments having ten (10) or more dwellings. This could include both variation in the number of bedrooms and gross floor areas of apartments, variety in the internal design or incorporating one-, two- and three-bedroom dwellings to accommodate various resident requirements.

The development does not consist of 10 or more dwellings.

N/A

5.14 Additional Control for Multi Dwelling Housing - Adaptable Housing

- Within a multi dwelling development incorporating more than six (6) dwellings, 10% of all dwellings (or at least 1 dwelling) must be designed to be capable of adaptation for disabled or elderly residents. Dwellings must be designed in accordance with the Australian Adaptable Housing Standard (AS 4299-1995), which includes “pre-adaptation” design details to ensure visitability is achieved.

The development does not consist of six (6) dwellings or more.

N/A

5.15 Additional Control for Multi Dwelling Housing – Crime Prevention through Environmental Design

- Compliance with the requirements of Chapter E2 Crime Prevention through Environmental Design (CPTED) in this DCP.

The development complies with CPTED principles.

Yes

CHAPTER B2 – RESIDENTIAL SUBDIVISION

Controls/objectives

Complete

Compliance

5 Topography, landform conservation, cut and fill

- The topography and landform of the site must be taken into consideration as part of the design of the subdivision layout, to optimise solar access opportunities

The landform has not been taken into consideration. The land slopes towards the rear and the built form of

No

<p>and maximise views to key natural features</p> <ul style="list-style-type: none"> Where natural landform is sloping prior to subdivision works, lots shall be designed to reflect inherited slopes. Housing products to suit sloping lots, with building envelope platforms, landscaped sloping solutions and split-level house designs are encouraged (see diagrams below) 	<p>the dwellings have not been designed to reflect inherited slopes.</p> <p>It is acknowledged that controls in this subsection are for new residential subdivisions and not infill development. The design does not suit the sloping site.</p>	
<p><u>6.2 Lot Size</u></p> <ul style="list-style-type: none"> The minimum subdivision allotment size requirement for a particular parcel of land shall be in accordance with the provisions of Wollongong LEP 2009 and the accompany Lot Size Map, relevant to the land. 	<p>The proposal is for Strata Subdivision and therefore clause 4.1 of WLEP 2009 does not apply to the development.</p>	<p>N/A</p>
<p><u>10 Acoustic assessment</u></p> <ul style="list-style-type: none"> Council will refer to NSW Roads and Maritime Services (RMS) and Department of Planning to determine if an acoustic assessment is required as outlined in “Development near Rail Corridors and Busy Roads – Interim Guidelines” (Department of Planning). 	<p>Farmborough Road is not a main road and therefore acoustic measures are not required under the busy road’s interim guidelines.</p>	<p>N/A</p>
<p><u>11 Street tree planting</u></p> <ul style="list-style-type: none"> The planting of street trees shall be integrated with driveway crossings, utility services, street lighting and shall be undertaken in accordance with the general requirements contained in the Chapter E6: Landscaping in this DCP. 	<p>Street tree planting considered satisfactory. The application proposes additional landscaping and street tree planting.</p>	<p>Yes</p>
<p><u>14 Bushfire protection</u></p> <ul style="list-style-type: none"> Any proposed residential subdivision upon land classified as bush fire prone land is an Integrated Development Application under the Environmental Planning and Assessment Act 1979. As such, formal concurrence is required 	<p>The application was referred to NSW RFS under sec 100B of the rural fires act. The New South Wales Rural Fire Service (NSW RFS) has considered the information submitted. General Terms of Approval, section 100B of the Rural Fires Act 1997, have not</p>	<p>No</p>

from the NSW Rural Fire Service, pursuant to section 100B of the Rural Fires Act 1997.

been issued. The NSW RFS do not support the proposal.

15 Stormwater drainage

- A detailed stormwater drainage concept plan together with calculations is required to be submitted with the Development Application.

A detailed stormwater drainage concept plan has been provided with the DA submission. Further detail is discussed under chapter E14 of the DCP. The stormwater design does not comply with the requirements of this subsection.

No

16 Riparian land management

- Any proposed residential subdivision involving waterfront land on, in or within 40 metres of the top of bank of a river, creek or intermittent watercourse, lake or estuary will be subject to compliance with the requirements of Chapter E23 Riparian Corridor Management in this DC

The land is not within 40 metres of a watercourse and a referral is therefore not required to DPIE-water.

Yes

CHAPTER D1 – CHARACTER STATEMENTS

Farmborough Heights

The proposal is inconsistent with the existing and desired future character for the locality.

CHAPTER E3: CAR PARKING, ACCESS, SERVICING/LOADING FACILITIES AND TRAFFIC MANAGEMENT

Car parking has been accessed in accordance with the requirements of this chapter and deemed unsatisfactory. The parking aisle adjacent to the garages and visitor spaces is required to be widened to a width that complies with Figure 5.4 of AS2890.1. No more than a 3-point turn manoeuvre (combined entry/exit) for a B85 vehicle is required to be demonstrated on the plans with suitable clearances. To achieve compliance, this may require widening of the parking aisle and door jambs, and removal/revision of the entry porches, to achieve compliant turning manoeuvre with a parking aisle of no less than 5.8m width.

CHAPTER E6: LANDSCAPING

Landscaping has been accessed in accordance with the requirements of this chapter and deemed unsatisfactory. The development does not provide for a minimum 1.5m wide landscaped area along the full length of the side and front boundaries. Neighbouring trees are adversely impacted upon and retaining walls do not comply with the objectives or controls in WDCP2009 Chapter B1. The separation proposed between the driveway and dwellings are not satisfactory and the Arboriculture impact assessment (AIA) fails to meet minimum standard.

CHAPTER E7: WASTE MANAGEMENT

A Site Waste Minimisation and Management Plan has been provided in accordance with this chapter and deemed satisfactory. Ongoing waste generated from the development can be controlled through conditions of consent.

CHAPTER E14 STORMWATER MANAGEMENT

Stormwater is proposed to be disposed of to an easement on the adjoining property at the rear of the site. Council's stormwater engineer has reviewed the proposal with respect to the provisions of this chapter and completed an unsatisfactory referral. It is currently unclear how the proposed design affects adjoining properties, cumulative impacts, pre and post development. The proposal does not consider cumulative impacts of the system.

CHAPTER E16 – BUSHFIRE MANAGEMENT

The proposal has been assessed against the requirements of this chapter. Given the site is bushfire affected and proposes subdivision, the application was referred to NSW RFS under sec 100B of the rural fires act. General terms of approval have not been issued and the proposal does not comply with the requirements of this chapter. The NSW RFS do not support the proposal in its current form.

CHAPTER E17 – PRESERVATION AND MANAGEMENT OF TREES AND VEGETATION

The proposal has been assessed in accordance with the requirements of this chapter with respect to tree removal/tree retention. The application proposes the removal of eight (8) trees and council's assessment on the proposal has determined that trees will be significantly impacted on as a result of the proposed development. The submitted AIA considers a total of 29 (twenty-nine) trees, eight (8) of which are located on the subject lot (148-150 Farmborough Road, Farmborough Heights) and are proposed to be removed. Twenty-one (21) of which are located on the lot to the West (144-146 Farmborough Road, Farmborough Heights) which will be retained. The applicant provided an amended drainage design with the DA submission which includes a drainage easement through the lot to the north (Kotara Crescent). The applicant has provided insufficient information regarding the impact of native flora and fauna. Given the site has significant biodiversity value, council cannot be satisfied the trees will not be adversely impacted on as a result.

CHAPTER E19 EARTHWORKS (LAND RESHAPING WORKS)

The earthworks proposed are considered to be significant and not supported by council. The height of the retaining walls to service the driveway are likely to affect create amenity impacts to adjoining properties. It is considered that proposed fill and hardstand space will likely cause disruption of or have a detrimental effect on existing drainage patterns.

CHAPTER E21 DEMOLITION AND HAZARDOUS BUILDING MATERIALS MANAGEMENT

The application has been assessed against the requirements of this chapter with respect to demolition of the existing dwelling and outbuildings on site. Council is satisfied that if the application were to be approved, conditions could be applied to ensure that the works are carried out with respect to relevant legislation and Australian Standards.

CHAPTER E22 SOIL EROSION AND SEDIMENT CONTROL

Conditions of consent could be recommended in regard to appropriate sediment and erosion control measures to be in place during works if the proposal was otherwise approved.